



District Wide Facility Assessment

Yough School District

April 8, 2024



Yough School District

District-Wide Facility Study

Table of Contents

Section A BACKGROUND

- A3 – A5** Mission Statement, Board of School Directors and District Leadership
- A6** Yough School District Academic Programs

Section B DISTRICT OVERVIEW

- B1** District Overview
- B2 – B8** Community Profile
- B9** District Map of School Building Locations and Student Population
- B10 – B14** District Enrollment

Section C EXISTING FACILITIES ASSESSMENT

- C1 – C14** District Facilities Assessment – Overview
- C15 – C116** District Facilities Assessment – Detailed Summary
- HW Good Elementary School
 - West Newton Elementary School
 - Mendon Elementary School
 - Intermediate Middle School
 - Yough Senior High School
 - Stadium Complex

Section D PRIORITIES

- D1 - 5** Yough Senior High School
- D6 – 8** Intermediate Middle School
- D9 - 12** HW Good Elementary School
- D13 - 16** Mendon Elementary School
- D17 - 20** West Newton Elementary School
- D21 – 22** Stadium Complex

Section E PROBABLE COSTS

- E1 - 5** Yough Senior High School
- E6 – 8** Intermediate Middle School
- E9 - 13** HW Good Elementary School
- E14 – 17** Mendon Elementary School
- E18 - 21** West Newton Elementary School
- E22 - 23** Stadium Complex

Section F RECOMMENDATIONS

- F1 - 2** Introduction
- F3 – 7** Issue Categories and Summaries
- F8 – 11** Recommendations and Cost Range Summary



Yough School District Mission Statement

In partnership with our community, our mission is to create a safe learning atmosphere that cultivates academic, social, and emotional skills, which challenge, motivate, and inspire students to achieve their full individual potential.

Vision

Our vision, as a school district, is to aspire to be more today than yesterday and to become better tomorrow than today.



Yough School District Board of Directors

Jared Filapose, President

Steven Kenderes, Vice President

Linda Knor, Board Secretary

Amy Ulander, Board Treasurer

Matt Gardner

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District Administration and Study Facilitators

Mr. Anthony R. DeMaro, Superintendent

Mr. James Meyer, Business Manager

Mrs. Lisa Trayter, Director of Facilities and Transportation

Dawn Hildebrand, Director of Special Education

Mr. Brian Sutherland, Principal, Senior High School

Mr. Kevin Smetak, Principal, Intermediate Middle School

Dr. Amy Larcinese, Principal, HW Good Elementary

Dr. Jennifer Skorvan, Principal, Mendon Elementary

Mr. Dave Hoffman, Principal, West Newton Elementary



Yough School District Academic Programs

- Yough Alliance for Academics, Arts, and Athletics:
 - The YA4 Foundation is an independent public charity dedicated to encouraging community wide participation and philanthropy in order to enhance and expand enrichment opportunities for all students in the Yough School District.



About the Yough School District

Serving numerous boroughs and townships, the Yough School District is located southeast of Pittsburgh in Westmoreland County. It is a rural and mid-sized community of around 17,500 residents.

Easily accessible from Interstate 76 and Pennsylvania Route 51, the school district's approximate 77-square miles include Crabapple Park & Pool, Goehring Park, The Madison Club, and small business communities that border the Youghiogheny River.

The community parks and other recreational facilities are maintained to benefit students as well as other residents.

Arona Borough Community Profile

General Population and Housing Characteristics

(from the 2010 Census Summary / Southwest Pennsylvania Commission)

General Overview

Area (Square Miles)	0.53 (est.)
Total Population	370
Median Age	42.4

Housing Units and Households

Median Home Value	\$84,100
Total Households	153
Households with Individuals under 18	43 28.1%

Household / Family Size & Income

Avg. Household Size	2.42
Avg. Family Size	2.85
Median Family Income	\$63,750

Population by Age Group

Under 5	19
5 to 9	11
10 to 14	27
15 to 19	23
20 to 24	22
25 to 29	24
30 to 34	21
35 to 39	27
40 to 45	26

45 to 49	28
50 to 54	47
55 to 59	27
60 to 64	14
65 to 69	21
70 to 74	15
75 to 79	6
80 to 84	4
Over 84	8

Madison Borough Community Profile

General Population and Housing Characteristics

(from the 2010 Census Summary / Southwest Pennsylvania Commission)

General Overview

Area (Square Miles)	0.44 (est.)
Total Population	397
Median Age	52.1

Housing Units and Households

Median Home Value	\$163,200
Total Households	182
Households with Individuals under 18	36 19.8%

Household / Family Size & Income

Avg. Household Size	2.18
Avg. Family Size	2.62
Median Family Income	\$69,375

Population by Age Group

Under 5	12
5 to 9	17
10 to 14	13
15 to 19	15
20 to 24	14
25 to 29	22
30 to 34	26
35 to 39	26
40 to 45	18

45 to 49	24
50 to 54	31
55 to 59	49
60 to 64	43
65 to 69	32
70 to 74	14
75 to 79	11
80 to 84	16
Over 84	14

Smithton Borough Community Profile

General Population and Housing Characteristics

(from the 2010 Census Summary / Southwest Pennsylvania Commission)

General Overview

Area (Square Miles)	0.12 (est.)
Total Population	399
Median Age	40.4

Housing Units and Households

Median Home Value	\$92,000
Total Households	166
Households with Individuals under 18	51 30.7%

Household / Family Size & Income

Avg. Household Size	2.40
Avg. Family Size	3.24
Median Family Income	\$65,395

Population by Age Group

Under 5	20
5 to 9	29
10 to 14	24
15 to 19	37
20 to 24	18
25 to 29	21
30 to 34	24
35 to 39	23
40 to 45	29

45 to 49	26
50 to 54	20
55 to 59	23
60 to 64	30
65 to 69	22
70 to 74	15
75 to 79	18
80 to 84	10
Over 84	10

Sutersville Borough Community Profile

General Population and Housing Characteristics

(from the 2010 Census Summary / Southwest Pennsylvania Commission)

General Overview

Area (Square Miles)	0.29 (est.)
Total Population	605
Median Age	41.1

Housing Units and Households

Median Home Value	\$87,100
Total Households	238
Households with Individuals under 18	66 27.7%

Household / Family Size & Income

Avg. Household Size	2.54
Avg. Family Size	3.01
Median Family Income	\$51,042

Population by Age Group

Under 5	39
5 to 9	37
10 to 14	22
15 to 19	46
20 to 24	39
25 to 29	43
30 to 34	32
35 to 39	38
40 to 45	40

45 to 49	63
50 to 54	31
55 to 59	44
60 to 64	29
65 to 69	25
70 to 74	17
75 to 79	27
80 to 84	19
Over 84	14

West Newton Borough Community Profile

General Population and Housing Characteristics

(from the 2010 Census Summary / Southwest Pennsylvania Commission)

General Overview

Area (Square Miles)	1.12 (est.)
Total Population	2,633
Median Age	46.5

Housing Units and Households

Median Home Value	\$108,100
Total Households	1,224
Households with Individuals under 18	291 23.8%

Household / Family Size & Income

Avg. Household Size	2.15
Avg. Family Size	2.86
Median Family Income	\$65,096

Population by Age Group

Under 5	120	45 to 49	183
5 to 9	138	50 to 54	243
10 to 14	150	55 to 59	226
15 to 19	144	60 to 64	203
20 to 24	125	65 to 69	120
25 to 29	163	70 to 74	95
30 to 34	115	75 to 79	92
35 to 39	160	80 to 84	96
40 to 45	146	Over 84	114

Sewickley Township Community Profile

General Population and Housing Characteristics

(from the 2010 Census Summary / Southwest Pennsylvania Commission)

General Overview

Area (Square Miles)	32.69 (est.)
Total Population	7,360
Median Age	47.6

Housing Units and Households

Median Home Value	\$183,200
Total Households	3,130
Households with Individuals under 18	744 23.8%

Household / Family Size & Income

Avg. Household Size	2.35
Avg. Family Size	2.79
Median Family Income	\$76,938

Population by Age Group

Under 5	310	45 to 49	577
5 to 9	349	50 to 54	689
10 to 14	400	55 to 59	678
15 to 19	430	60 to 64	557
20 to 24	315	65 to 69	431
25 to 29	373	70 to 74	352
30 to 34	349	75 to 79	301
35 to 39	372	80 to 84	249
40 to 45	480	Over 84	148

South Huntingdon Township Community Profile

General Population and Housing Characteristics

(from the 2010 Census Summary / Southwest Pennsylvania Commission)

General Overview

Area (Square Miles)	45.81 (est.)
Total Population	5,796
Median Age	44.7

Housing Units and Households

Median Home Value	\$141,800
Total Households	2,394
Households with Individuals under 18	634 26.5%

Household / Family Size & Income

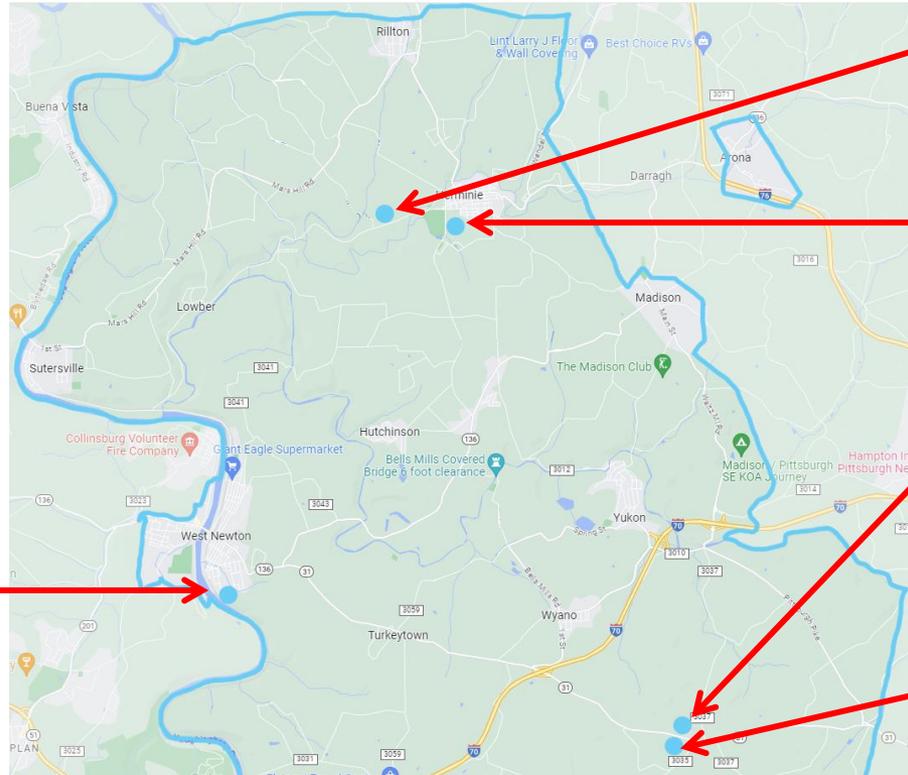
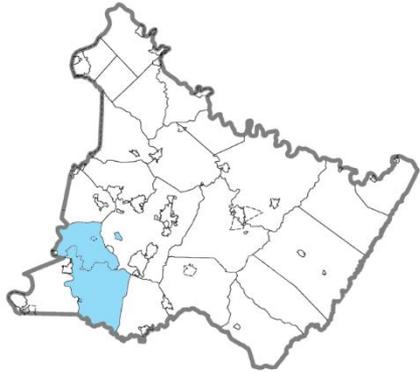
Avg. Household Size	2.42
Avg. Family Size	2.85
Median Family Income	\$68,065

Population by Age Group

Under 5	237
5 to 9	283
10 to 14	380
15 to 19	357
20 to 24	281
25 to 29	272
30 to 34	304
35 to 39	378
40 to 45	435

45 to 49	469
50 to 54	543
55 to 59	433
60 to 64	425
65 to 69	334
70 to 74	210
75 to 79	184
80 to 84	161
Over 84	110

Yough School District Buildings and Student Population



West Newton Elementary
K-4 / 163 Students
(475 PDE Capacity)

Yough Senior High School
9-12 / 574 Students
(875 PDE Capacity)

HW Good Elementary
K-4 / 274 Students
(475 PDE Capacity)

Intermediate Middle School
5-8 / 563 Students
(925 PDE Capacity)

Mendon Elementary
K-4 / 239 Students
(450 PDE Capacity)

District Enrollment

Student Population by Grade

2022 - 2023 Projected Enrollment Data Provided by Yough School District

*Actual Enrollment
2022/2023 School Year*



	K	1	2	3	4	5	6	7	8	9	10	11	12	T	2022/ 2023
<u>HW Good</u>	54	50	48	53	61									267	266
<u>Mendon</u>	34	56	44	51	44									226	229
<u>West Newton</u>	38	36	32	23	32									159	161
<u>Elementary Total</u>	126	142	124	127	137									652	656
<u>Intermediate Middle</u>						130	144	145	155					576	574
<u>High School</u>										128	148	127	149	558	552
<u>Totals</u>	126	142	124	127	137	130	144	145	155	128	148	127	149	1786	1782

District Enrollment

Student Population by Grade

2023 - 2024 Projected Enrollment Data Provided by Yough School District

*Actual Enrollment
2023/2024 School Year*



	K	1	2	3	4	5	6	7	8	9	10	11	12	T	2023/ 2024
<u>HW Good</u>	59	53	50	48	54									274	264
<u>Mendon</u>	51	35	56	44	51									239	237
<u>West Newton</u>	36	37	36	31	23									163	163
<u>Elementary Total</u>	146	125	142	123	128									676	664
<u>Intermediate Middle</u>						137	130	144	145					563	556
<u>High School</u>										155	128	148	127	TBD	558
<u>Totals</u>	146	125	142	123	128	137	130	144	145	155	128	148	127	TBD	1778

District Enrollment Analysis: Current

2022-2023 Enrollment Data Provided by Education PA

	Current Enrollment	Enrollment x 10%	Capacity			
			PDE	Existing Util.	Recommended	
<u>HW Good</u>	267	294	475	14 Student average (reported existing)	K: 20 Students 1-2: 25 Students 3-4: 25 Students	
<u>Mendon</u>	226	249	450			16 Students
<u>West Newton</u>	159	175	475			14 Students
<u>Elementary Total</u>	652	718	1400			10 Students
<u>Intermediate Middle</u>	576	634	925	18 Students	5-8: 25 Students	
<u>High School</u>	558	614	875	18 Students	9-12: 25 Students	

District Enrollment Projections

Student Population by Grade

From PDE Enrollment Projections dated May 2023

Yough SD 107658903

YEAR	K	1	2	3	4	5	6	7	8	9	10	11	12	Total
Actual														
2018 - 2019	135	133	143	147	157	123	142	139	135	152	164	183	161	1914
2019 - 2020	130	130	133	141	150	160	117	148	137	141	158	163	187	1895
2020 - 2021	127	126	128	131	133	150	157	115	149	137	138	156	162	1809
2021 - 2022	141	122	131	128	130	142	147	150	125	142	138	143	166	1805
2022 - 2023	129	138	122	131	133	132	142	147	156	131	148	132	155	1796
Projection														
2023 - 2024	118	130	139	121	131	136	129	141	151	158	133	147	137	1771
2024 - 2025	111	123	131	138	121	134	133	128	145	153	161	132	153	1763
2025 - 2026	111	116	124	130	138	124	131	132	132	147	156	160	137	1738
2026 - 2027	111	116	117	123	130	142	121	130	136	134	149	155	167	1731
2027 - 2028	109	116	117	116	123	133	139	120	134	138	136	148	161	1690
2028 - 2029	107	114	117	116	116	126	130	138	124	136	140	135	154	1653
2029 - 2030	106	112	115	116	116	119	123	129	142	125	138	139	141	1621
2030 - 2031	104	110	113	114	116	119	116	122	133	144	127	137	145	1600
2031 - 2032	102	108	111	112	114	119	116	115	126	135	146	126	143	1573
2032 - 2033	100	106	109	110	112	117	116	115	118	127	137	145	131	1543

**PDE Projections
2023/24 School Year**

**K - 4
639**

**5 - 8
557**

**9 - 12
575**

**Total
1771**

Summary of District Enrollment

Enrollment in the District has been fairly steady with some decrease in recent school years. The PDE and has forecasted an eventual enrollment decrease in their report, but actual enrolment may be unpredictable as demographics shift in the region.

It is anticipated that enrollment will continue to remain steady with some decrease in the future. With a large population in the range of 40 – 64 years, it can be assumed that many will stay in their current single-family homes for the next 10 – 30 years. Because of this, it can be concluded that room in the district for younger families will be fairly limited.

It is recommended that a Stewman Demographic Study be completed to gain a better understanding of the anticipated rate of enrollment decline or future stabilization/growth prior to engaging in any future building capacity modifications.

Yough School District

Existing Facilities Assessment

Beginning in June of 2023, DRAW Collective Architecture performed an assessment of the facilities comprising Yough School District which include three (3) elementary schools, intermediate middle school, high school, and stadium complex. The assessment team included personnel from DRAW Collective Architecture and H.F. Lenz Co. (mechanical, electrical, and plumbing systems). The goal of the assessment is to identify priority areas regarding safety and deficiencies for each facility.

The assessment team conducted a noninvasive survey of each facility included in the scope of work in mid-June 2023. The team visited the facilities to collect data on the condition and life cycle of major systems and overall building. Drawings and other facility information provided by Yough School District were also reviewed and incorporated. The assessors interviewed the district staff to document non-visible and ongoing component problems.

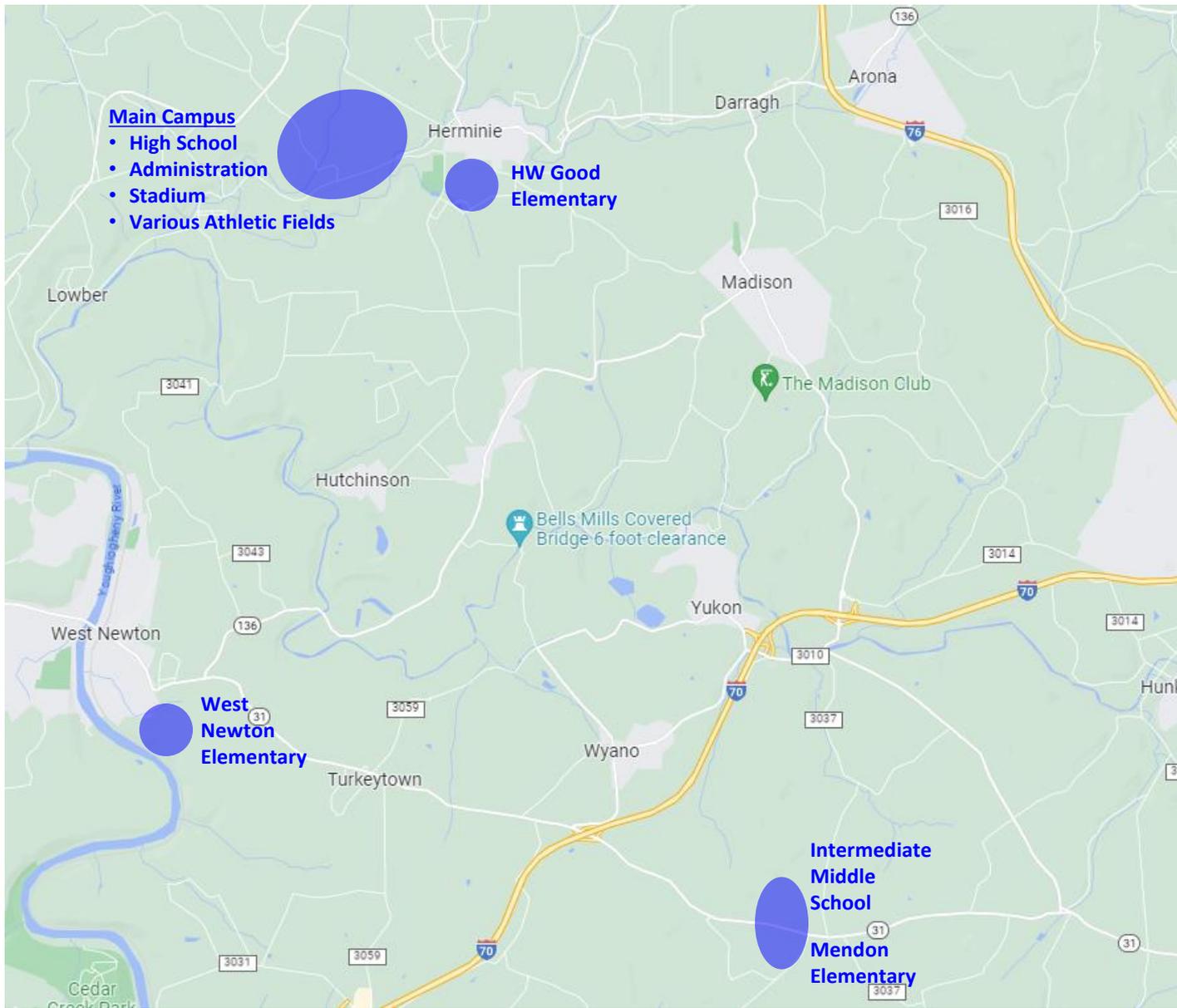
Through the review process, the assessment team acquired a general understanding of the conditions of the building and site components. The information was compiled and filtered by facility with areas requiring attention identified via written summary, where applicable on existing drawings, and photo documentation. It should be noted that some conditions may require further investigation to determine full extent of issues identified.

Existing Facilities Assessment

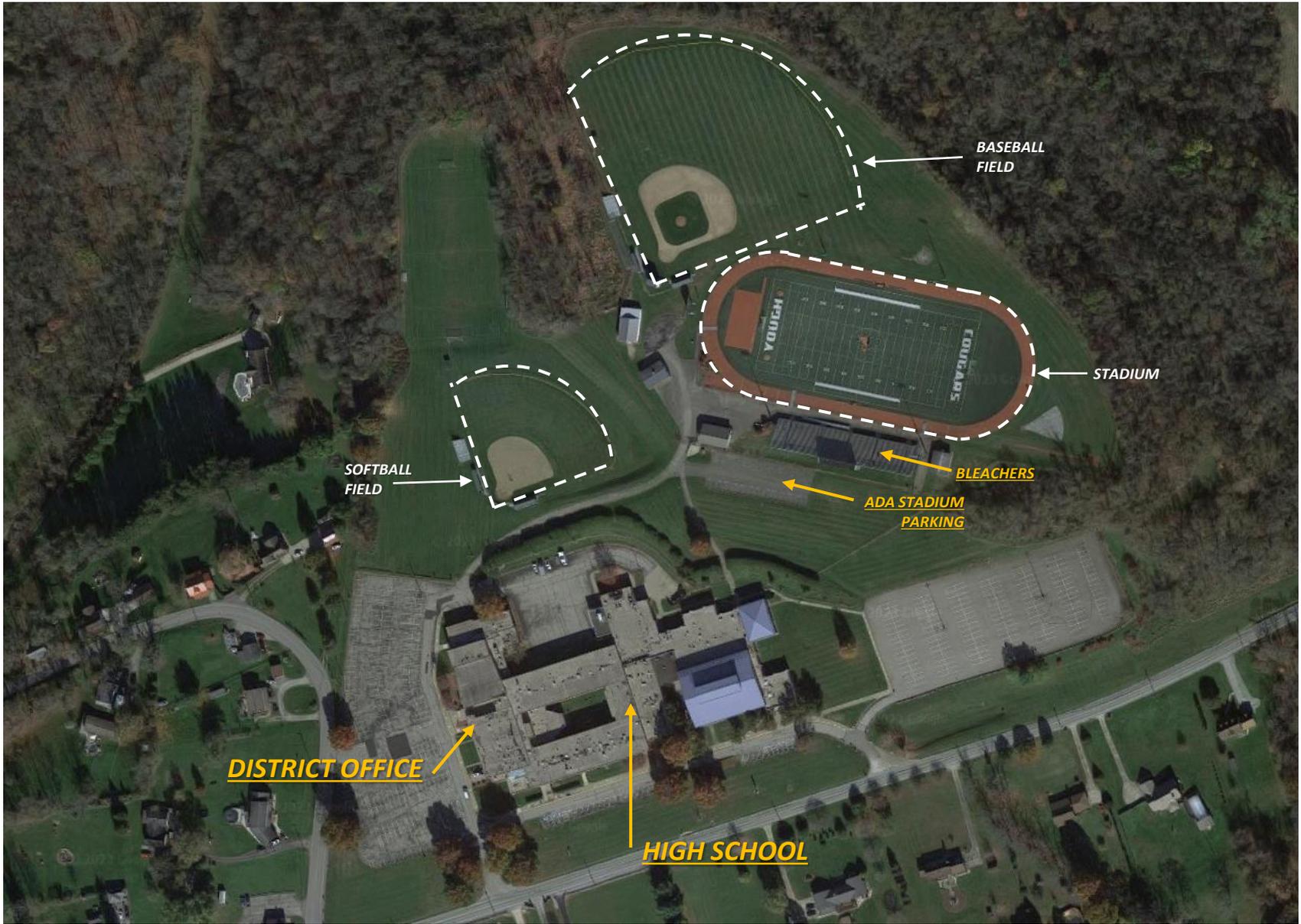
Contents

C1 – C14	District Facilities Assessment - Overview
C15 – C116	District Facilities Assessment – Detailed Summary
• HW Good Elementary School	C15 – C34
• Mendon Elementary School	C35 – C50
• West Newton Elementary School	C51 – C66
• Intermediate Middle School	C67 – C86
• Yough Senior High School	C87 – C107
• Stadium Complex	C108 – C116

Yough School District Overall Facility Locations Plan



Yough School District Overall Main Campus Plan



Yough School District - Schools

Summary of District Facilities

K - 4



HW Good Elementary



Mendon Elementary



West Newton Elementary

5 - 8



Intermediate Middle School

9 - 12



Yough Senior High School



Stadium Complex

Yough School District

Summary of District Facilities

Summary of Conditions

Examples of Typical Issues

Exterior Envelope:

- Miscellaneous masonry cracking & mortar deterioration
- Misc. drainage and flashing issues
- Roof leaks in misc. classrooms
- Misc. mildew build up and maintenance
- Misc. exterior paint maintenance
- Courtyard landscape and playground maintenance
- Windows nearing end of life, missing screens and cracked glass

Site:

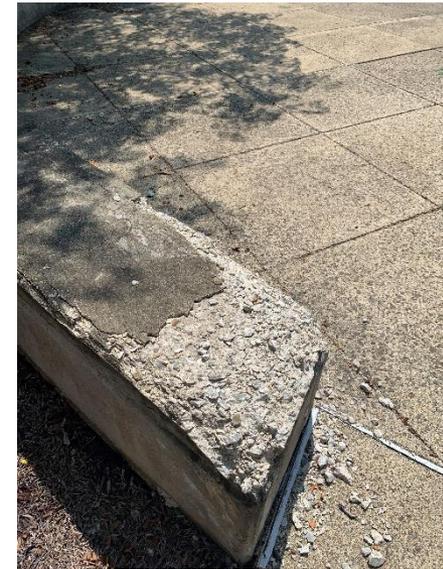
- Deterioration and cracking of asphalt surfaces surrounding schools
- Deterioration and cracking of sidewalk surfaces surrounding schools
- Traffic congestion during student drop off and pick up times
- Parking does not meet the parking demand during school events, disparity between elementary buildings
- ADA access route and signage from parking with distinguished linework needs provided

Building Systems & Equipment

- High humidity levels are stress on mechanical systems and result in building damage & comfort
- Piping and distribution in elementary schools
- Misc. mechanical units/components nearing the end of useful life
- Automatic temperature controls upgrades needed
- Fire alarm, paging, and clock systems are nearing end of useful life



NO PAINT FOR ADA TRAVEL PATH



DETERIORATING CONCRETE SURFACES



EXTERIOR PAINT MAINTENANCE



MASONRY CRACKING/ MORTAR DETERIORATION



COURTYARD LANDSCAPE

Summary of Conditions

Examples of Typical Issues (continued)

Interiors:

- Outdated finishes in classrooms and common areas
- Outdated furniture in educational spaces to support 21st century learning
- Little to no student storage in elementaries
- Missing floor finishes
- Broken or missing wall tile
- Slab settling and heaving
- Water staining at ceiling mounted HVAC units in classrooms
- ADA upgrades in all restrooms
- ADA approach for all casework sinks
- ADA tactile signage necessary



ADA UPGRADES IN ALL RESTROOMS



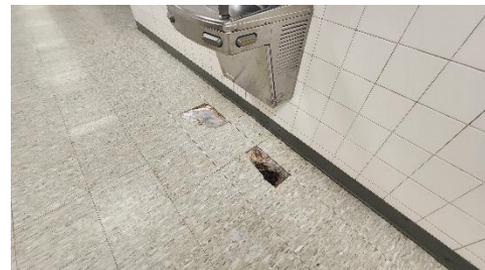
ADA APPROACH FOR CASEWORK SINKS



SLAB SETTLING/ PULLING FINISHES



WATER STAINING AT HVAC SYSTEMS



MISSING FLOOR FINISHES



CHIPPED WALL FINISHES

Summary of Conditions

Examples of Building Specific Issues

Elementary Schools

HW Good Elementary:

Exterior

- ADA access route from parking with distinguished painted linework
- Exterior systems maintenance
- Cracks and lifting in paving and sidewalks around exterior doors and parking lots
- Inadequate parking for faculty and parents during off hour events
- Vehicular congestion and backups on neighborhood roads

Interior

- Improper gym/ cafeteria storage
- ADA accessibility in all restrooms, faculty toilets and classroom sinks
- Non-ADA compliant door hardware at some instances
- Broken or missing wall and floor finishes
- In need of designated student storage
- Clock and paging systems at end of useful life



NO ADA ACCESS ROUTE FROM PARKING



ADA UPGRADES IN ALL RESTROOMS



MISSING WALL FINISHES



NON – ADA COMPLIANT DOOR HARDWARE



STUDENT STORAGE AS TEACHER STORAGE



NON – ADA COMPLIANT SINK APPROACH

Summary of Conditions

Examples of Building Specific Issues (continued)

Elementary Schools (continued)

Mendon Elementary:

Exterior

- Cracks and lifting in paving and sidewalks around exterior doors, parking lots, curbs, and playgrounds
- Exterior signage in need of replacement
- Cracks along brick from exterior wall shifting
- Canopy and window replacement
- Landscaping along exterior and courtyard
- ADA access route from parking with distinguished painted linework

Interior

- ADA accessibility in all restrooms, faculty toilets and classroom sinks
- Worn wall, floor, and furniture finishes
- Wall cracks and floor finish separation from exterior wall shifting
- Water staining at ceiling mounted HVAC units in classrooms and corridors
- Acoustic wall and ceiling tile replacement/ addition in cafeteria
- Toilet partitions scratched and damaged



COURTYARD LANDSCAPE



WALL CRACKING



NON – COMPLIANT ADA RESTROOM



WORN FLOOR TILES



DETERIORATED CANOPY



DETERIORATED PAVING



INTERIOR STEP CRACK



WALL PULLING FROM FLOOR

Summary of Conditions

Examples of Building Specific Issues (continued)

Elementary Schools (continued)

West Newton Elementary:

Exterior

- Cracks and lifting in paving and sidewalks around exterior doors, parking lots, curbs, and playgrounds
- Playground in bad condition compared to other schools in district
- ADA access route from parking with distinguished painted linework
- Replacement of ADA parking signage
- Recaulking around door and windows
- Misc. mildew build up and maintenance
- Significant water infiltration at wall between original building and last addition

Interior

- ADA accessibility in all restrooms, faculty toilets and classroom sinks
- Missing or chipped wall and floor finishes
- Water staining at ceiling mounted HVAC units in classrooms and corridors
- In need of designated student storage



NON – ADA COMPLIANT RESTROOMS



MILDEW BUILD UP ON EXTERIOR



ACT DAMAGE



WATER STAINING AT HVAC SYSTEMS



STUDENT STORAGE AS TEACHER STORAGE



NON – ADA COMPLIANT SINK APPROACH

Summary of Conditions

Examples of Building Specific Issues (continued)

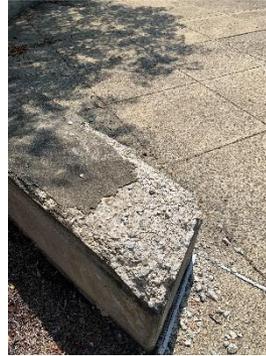
Intermediate Middle School:

Exterior

- New concrete work at entrance one and flagpole
- Landscaping at main entrance and other points of entry
- Miscellaneous cracks in windowpanes

Interior

- ADA accessibility in all restrooms, faculty toilets and classroom sinks
- Misc. floor deterioration in classrooms
- Cracking at interior cafeteria walls
- Leaking near locker rooms, gyms, and cafeteria
- Misc. clock system repair and installation
- Paging system repair in auditorium



DETERIORATING
CONCRETE



WATER STAINING AT
HVAC SYSTEMS



PULLING INTERIOR
FINISHES

Summary of Conditions

Examples of Building Specific Issues (continued)

Senior High School:

Exterior

- ADA access route from parking with distinguished painted linework
- Cracks and holes in paving, curbs, sidewalks, and parking barriers
- Misc. exterior lighting replacement at entrance from admin side
- Mildew build up at exterior
- Windows and treatments in need of replacement
- Leaks in roof at gym lobby
- Need of new landscape in courtyard and building perimeter

Interior

- ADA accessibility in all restrooms, faculty toilets and classroom sinks
- Student lockers old/ damaged
- Stair guardrails not ADA compliant
- Tactile exit signs at emergency doors
- Water damaged and stained ceiling tiles
- Add door stops to classroom doors
- Phone and clock system in need of replacement
- Main gym bleachers repaired or replaced
- ADA seating in cafeteria
- Missing or broken wall, ceiling, and floor finishes
- Building wide AC replacement
- Dark lighting in corridors
- Auditorium sound system at end of useful life
- Piping and distribution issues in bathrooms



NO PAINT FOR ADA TRAVEL PATH



NON – ADA COMPLIANT GUARDRAILS



DAMAGED STUDENT LOCKERS



INTERIOR WALL CRACKS



NON – ADA COMPLIANT SHOWERS



ADA APPROACH AT LGI



WATER STAINING AT HVAC SYSTEMS

Summary of Conditions

Examples of Building Specific Issues (continued)

Stadium Complex:

- Cracks and holes in pavement at ADA parking, plaza, and drive to stadium
- ADA accessibility upgrades to all restrooms
- No handrails at grandstand aisles
- Cleaning and routine maintenance of exterior finishes



CRACKS IN PAVEMENT



CRACKS IN PAVEMENT



CENTER AISLES WITH NO SIDE
OR CENTER HANDRAILS



NO VERTICAL GRAB BARS IN
ACCESSIBLE STALLS

HW Good Elementary, constructed roughly 66 years ago, is the oldest of the District’s neighborhood elementary buildings serving grades K thru 4. It is one of three elementary schools constructed over a nine-year period (from 1957 - 1966) utilizing a U-shaped floor plan like Mendon Elementary. HW Good, Mendon and West Newton are all 1-story schools. Overall, the building serves the District’s K-4 educational curriculum. HW Good’s current enrollment does not exceed its FTE capacity.

HW Good has been well maintained and remains in good condition. The building is primarily of masonry construction and is structurally sound. Our review of the facility identified several deferred maintenance items that should be considered as part of the district’s ongoing capital improvement plans. With ongoing maintenance, the building should continue to serve the District for the next 10 to 15 years.



Date of Original Construction	1957	Last Renovations/ Additions	1993 - 1994
Grades	Kindergarten thru 4 th		
Stories	1 Story		
Occupancy Type	Educational		
Construction Type	Non-combustible		
Architectural Area	42,807 SF	Site Area	x acres
PDE FTE Capacity	475		
Current Enrollment	274		
Municipality	Sewickley Township		
Condition	Good		

HW Good Elementary
1464 Herminie West Newton Road
Herminie, PA 15637

HW Good ES – Existing Facility Assessment

ADA Accessibility Evaluation

ADA compliance was reviewed during the building survey. Elements include the site, interior, and building systems. Issues observed primarily relate to the existing site, egress paths, and restrooms.

Items of note include:

- ADA tactile signs must be present at all room locations. Emergency exit doors also must have ADA tactile signs present to be considered an exit route.
 - **Recommendation:** Provide the required tactile exit signs at the exit doors. These signs should designate an accessible or non-accessible exit.
- The front parking lot has three ADA spots clearly marked with paint and signage. From these spots, an accessible route must be provided to the nearest curb cut. This must be distinguished through blue paint on the pavement.
- ADA parking with clear signage and paint must be added to the side lot. There is currently one spot that is not feasible to park in.
 - **Recommendation:** Paint ADA travel path and mark ADA accessible spots in correct locations. This can be grouped with a future complete lot repainting project.
- All student restrooms, faculty toilets, and nurse's toilet need a vertical grab bar to meet current ADA code.
 - **Recommendation:** Install vertical grab bars to meet current codes in all restrooms and faculty toilets.
- All student restrooms need reconfiguration for current ADA plumbing code, which includes a dedicated ADA stall with no sink.
 - **Recommendation:** Possible student restroom reconfiguration is necessary to provide adequate fixtures and layout for current code.
- Check mounting height requirements for bathroom accessories such as paper towel dispensers and wall mounted trash disposals.
- All classroom sinks are required to have an ADA approach. Side approach is allowed but front approach is preferred.
 - **Recommendation:** If casework is replaced in this future, it should be considered to modify the casework to provide the pull under approach to the sink.



NO PAINT FOR ADA ACCESSIBLE ROUTE



NO PAINT FOR ADA TRAVEL PATH



NO GRAB BARS



RECONFIGURE ADA STALL FOR CURRENT CODE



CURRENT SIDE APPROACH CASEWORK

HW Good ES – Existing Facility Assessment

Safety & Security Evaluation

Existing safety and security measures were included in our review along with input from the district.

- Parking is limited on site during the school day but especially during off hour events. This leads to parents parking across the street. It is a safety hazard to have parents and children walk across the road for school functions.
- Parent drop off and pick up backs up into the city street.
 - **Recommendation:** *Reconfiguration of routes and parking is needed for current system. District should consider the addition of a new lot adjacent to the current faculty lot.*
- Student entrance separate from visitor entrance. Visitor entrance through secure vestibule. Student entrance includes vestibule but has access to multi-purpose room through vestibule.
 - **Recommendation:** *Renovate student vestibule for a secure entrance with no access to school programmatic spaces.*
- Door 9 needs a bell and possibly a camera for deliveries.
- Door 10 has views to entrance and part of side parking lot. One or two cameras are needed at the door for control and security.
 - **Recommendation:** *Add additional security camera systems at all exterior doors.*



LACK OF FACULTY AND VISITOR PARKING



POSSIBLE NEW LOT LOCATION



SECURITY SYSTEMS AT ALL EXTERIOR DOORS



STUDENT ENTRANCE AT DOOR 2



STUDENT ENTRANCE VESTIBULE

HW Good ES – Existing Facility Assessment

Building Exterior Evaluation

The building exterior overall is in good condition with minor issues identified. Observed issues on the exterior of the building did not indicate any structural deficiencies that are of immediate concern.

Items of note include:

- Routine maintenance of cleaning and caulking around exterior systems: doors and windows.
- Cracking noticeable above cafeteria in exterior wall
 - **Recommendation:** Mortar joints should be evaluated yearly. Patch step cracks. Routine maintenance to exterior items and clean surfaces, as necessary.
- Windows in decent shape other than a couple missing screens. Screens missing at classroom 112, 121, and 123. Screens missing at math lab. Screens ripped at classroom 101 and 122.
 - **Recommendation:** Replace windows screens, as necessary. Inspect all frames for damage and paint as necessary.
- Doors do not lock or close properly. Currently being replaced.
 - **Recommendation:** none
- Both playgrounds are newly constructed. District is asking for a shade space at the large playground and new mulch.
- Swing area needs new mulch and something to contain that material.
 - **Recommendation:** Routine maintenance and fill of playground mulch.
 - **Recommendation:** Provide canopy for sun protection. Location TBD.

Roof Evaluation

The modified bitumen roof is in good overall condition and replaced in 2013. Roof is approximately in the middle of its useful life.

Items of note include:

- District has reported constant leaks with heavy rain in several locations but primarily the hallway near the library.
 - **Recommendation:** Roof is halfway through its useful life. Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary



WINDOW REPLACEMENT AND MAINTENANCE AS NECESSARY



MAINTENANCE AROUND PERIMETER AND PLAY AREAS

HW Good ES – Existing Facility Assessment

Building Interior Evaluation

The building interior did not have any major deficiencies observed. Items identified were mostly common throughout the building with only some unique conditions present that have the potential to become future issues.

- Existing VCT flooring is showing sign of wear and nearing the end of its useful life. Pieces are lifting and, in some areas, missing.
 - **Recommendation:** *Yearly inspection of flooring and repairs, as necessary.*
- Existing hallway wall tile is nearing the end of its useful life. Wear is significant in admin hallway.
 - **Recommendation:** *Replace and patch wall tile, as necessary. Maintain a yearly inspection of wall tile.*
- Door side lights have been upgraded with 3M impact resistant film.
 - **Recommendation:** *none*
- Existing student cubby system doubles as teacher storage. District has requested designated student cubbies or lockers in hallway.
 - **Recommendation:** *Change current classroom closet storage to student cubby storage, add additional teacher storage. A larger scale option includes renovations to hallway to include student lockers.*
- Although the total enrollment is lower than its FTE capacity, district has stated that most classrooms feel tight for its current student per class ratio. If redistricting is not an option, a classroom wing addition is a possibility.
- Clock system is at end of useful life. System does not work in hallway.
- Paging system is at end of useful life and is not heard in multiple building locations.
 - **Recommendation:** *Replace clock and paging systems, as necessary. Provide yearly maintenance and upgrades as needed.*



MISSING WALL TILE



MISSING FLOOR TILE



SIDELIGHT UPGRADED WITH IMPACT FILM



CURRENT STUDENT AND TEACHER STORAGE

HW Good ES – Existing Facility Assessment

Building General Classroom Evaluation

The building's general classrooms have some deficiencies in terms of storage, available space, and function. Some items were identified to be areas of future upgrades for the district.

General Classrooms:

- No reported issues regarding existing technology or finishes.
- Issues with the general classrooms stem from the school's enrollment and the average class size. HW Good currently has an average class size of 18-25 students. According to the district, many classes are at the top end of that range. The school can function at its current enrollment but would struggle with an increase.
- Because of HW Good's class size, teachers have reported problems of storage and efficient class layouts to the district. Many feel that classrooms feel tight and that there is no room for flexible seating and learning opportunities, especially in the older grade levels. Teachers are also concerned that there is no dedicated student storage. Students are currently sharing storage with teacher supplies.
- There is no room to grow within the existing boundaries of the school. All rooms are currently used for general or specialty programs. Rooms like the library and art room share its space with other programs. This setup functions for the district if enrollment stays steady.
 - *Recommendation:* Discuss possibility of redistricting. If that is not possible, an addition is recommended. This classroom addition wing would include general classrooms to alleviate the average class size.
 - *Recommendation:* This addition could be designed to have in room student cubbies or a corridor locker system, depending on the intended grade level. This addition could also include other programmatic elements if necessary.

Special Education Classrooms:

- There are 2 dedicated special education classrooms and 1 life skills classrooms with a single user toilet room. Both rooms are in good condition.
- School does have a sensory room in place and other spaces of emotional intervention.

Kindergarten:

- Kindergarten currently occupies 3 classrooms. 1 classroom was originally built to hold kindergarten and is slightly larger than the other 2 rooms. Overall, the spaces are good for all rooms and the layout functions well during school hours.
- Classrooms do have access to single user toilet rooms. As mentioned in the earlier sections, these toilet rooms should be brought up to current ADA standards with the addition of grab bars.



TYPICAL GENERAL CLASSROOM LAYOUT



TYPICAL GENERAL CLASSROOM LAYOUT

HW Good ES – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building specialty rooms did not have any major deficiencies observed. Items that required a recommendation were mostly localized to specific rooms and could warrant potential future upgrades.

Computer Classroom:

- The original computer classroom has been turned into a maker space for the school. Computers are still in the space, but they are now used for STEAM activities. There are no reported issues with existing technology.
- The existing layout and new furniture allow for flexible instruction.

Music Room:

- There is no dedicated music room. The current music program shares the library space on a portable riser setup. Storage in this shared space has been a reoccurring issue for the district. Music items are currently stored on library shelving.
 - *Recommendation: For a small-scale renovation, evaluate existing boundaries of the library and its adjoining spaces to see if a storage room can be added. Can library items be consolidated or reorganized to provide dedicated storage for the music program?*
 - *Recommendation: A dedicated music space could be designed in conjunction with the classroom wing addition mentioned on the previous page. This would allow for proper music equipment storage and acoustic treatment.*

Library:

- The district still focuses heavily on physical books for student literacy. The current shelving and furniture layout works well for the district. No issues have been reported in function other than the shared spaced with music mentioned above.
- Air conditioning was added to help with the humidity in the room. The floor was upgraded within the past year, and the walls have been recently painted. There are no reported issues regarding existing technical equipment. Overall, the finishes, furniture, and equipment are in great condition and will continue to serve the district for the next 10-15 years.

HW Good ES – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building specialty rooms did not have any major deficiencies observed. Items that required a recommendation were mostly localized to specific rooms and could warrant potential future upgrades.

Multi- Purpose:

- The district has not reported any issues with acoustics in the space during occupied times.
- Existing finishes are in decent condition and should continue to serve the district for another 5 – 10 years.
 - *Recommendation: Routine maintenance and cleaning of these finishes will extend their expected life. Continue to clean and wax existing VCT.*
- Stage curtain is old and should be replaced. Stage technical equipment is past its useful life and needs replaced as well. There are multiple instances of mic plugs and stage lights that do not work at all.
 - *Recommendation: Replace the stage lighting and the sound system to a new but appropriate system for its current use. Cost saving measures can be used in this renovation. Replace the stage curtain at the same time for a complete stage upgrade.*
- Discussions with the district outlined some functionality issues within the multi – purpose room. With the current enrollment of HW Good, the district struggles with scheduling gym class and lunch hours in the one space, especially during the winter months. Multiple lunch hours are needed to serve all students.
 - *Recommendation: In previous sections, a classroom wing addition was discussed. In addition to classrooms, a dedicated gym could be designed. This would allow the district to have concurrent gym and lunch hours, and it would be beneficial for inclement weather when outdoor recess is not possible.*

Art Room:

- The existing layout and fixtures function well for the district. There are no reported issues regarding storage.
- When art is not in session, the room is utilized by gifted services, occupational therapists, physical therapists, or school-based counselors. This systems works for the district; dedicated rooms are not necessary now but would be recommended if a large-scale addition is discussed.



MULTI – PURPOSE ROOM STAGE



MULTI – PURPOSE ROOM EXISTING FINISHES

HW Good ES – Existing Facility Assessment

Site Evaluation

The building site did not have any major cosmetic deficiencies observed. Items identified heavily relate to parking and bus/ car routes.

Items of note include:

- Minor asphalt cracking is present throughout site.
- Sidewalk near Pre-K door 7 is lifting. Lifting is also occurring at door 9 and 10.
 - Recommendation: *Yearly maintenance as necessary. Installation of a “frost free” slab at exterior doors can be considered.*
- Existing parking is inadequate for use during school events. As currently sized, additional parking is required for school events with vehicles requiring alternate parking at nearby Crabapple Park.
 - Recommendation: *Parking lot expansion into adjacent grass area can be considered. Coordination with storm water retention basin will be necessary.*
- Parent pick up and drop off route is not large enough for the student population. A new route is necessary for student safety which could come from a possible lot extension on adjacent school property.
 - Recommendation: *Re-route parent drop-off and pick-up through new paved lot. Lot can be used for faculty and off hour school functions.*
- Routine maintenance to building perimeter, play area, and garden conditions.



ROUTINE MAINTENANCE TO BUILDING PERIMETER



INADEQUATE PARKING CONDITIONS



NEW PLAY AREA – ROUTINE MAINTENANCE

HW Good ES – Existing Facility Assessment

Food Service Equipment Evaluation

The kitchen facilities are TBD.

Items of note include:

- District has indicated a need for reorganization of the kitchen. There is only one serving line that is insufficient for the number of kids in the school.

HW Good ES – Existing Facility Assessment

Building System Evaluation

The HVAC, Plumbing, and Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed below.

HVAC items of note include:

- Boiler were replaced in 2022 and are in good condition. The life expectancy of the boiler is approximately 20-25 years.
- Pumps for heating systems were replaced in 2019. The existing mains that remained from the 1994 renovations are now over 60 years old. No problems reported but could become a maintenance issue.
- The classroom unit vents were installed in 1994 and are past their expected life.
- The two air-handling units serving the multi-purpose room were installed during the 1994 renovation. There are at their useful life expectancy. Library rooftop units were installed 10 years ago and are in good condition.
- One issue with the controls is that in the air-conditioned areas, the controls for the air conditioning and heating don't coordinate with one another.
- The Administrative Office area, the Faculty Room and the Music Practice Room (interior space) are all air conditioned with split system unit ventilators. Though the unit vents are just past their expected life, the condensing units are significantly past their expected life of 15-20 years.
- Exhaust systems in toilet rooms consist of ceiling mounted grills ducted exhaust to roof mounted exhaust fans. Most of the roof mounted exhaust fans were replaced in the 1994 renovations but some were not. Those fans are in poor condition. To meet the code, make-up air should come from the ceiling plenum space in the adjacent rooms.

Plumbing items of note include:

- The building service entrance comes through the wall into the mechanical room and splits into two lines, both of which have a backflow preventer,

pressure regulator and shut off valve. The service looks to be in good condition.

- The sanitary system is connected to the public sewer system. Despite the age, there are not significant problems but piping that old should be considered for replacement.
- All plumbing fixtures in good to fair condition.
- There are no reported issues with the gas system.

Electrical items of note include:

- Main switchboard does not have the code required clearance. Panelboards are in good condition. Circuit breakers are past the age of reliability which is 25 years.
- Emergency power generator is nearly at its expected life of 30 years.
- Lighting fixtures in classrooms are fluorescent. LED would provide a significant energy savings, and if the lighting were replaced in its entirety, it could incorporate dimming for even more potential energy savings.
- Classrooms typically have 6 receptacles. This quantity is low for a classroom today however there did not seem to be an immediate need observed for more receptacles.

HW Good ES – Existing Facility Assessment

Building System Recommendations

The HVAC, Plumbing, Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed in the previous page for reference.

HVAC items of note include:

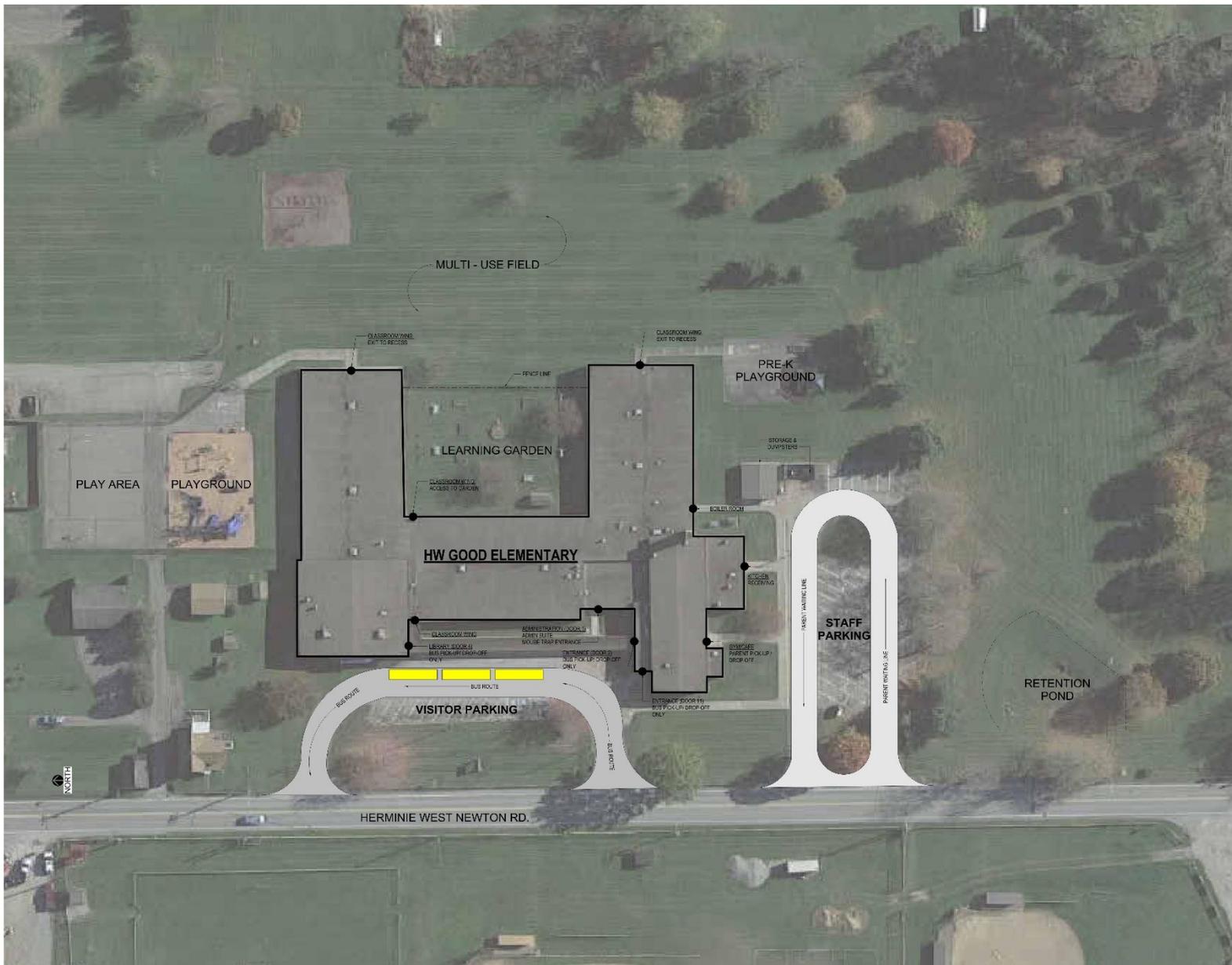
- Replace the hot water piping that remained from the original building construction.
- Add variable frequency drives to the hot water pumps.
- Replace the unit ventilators due to age or install another type of HVAC system with better efficiency.
- Replace the condensing units (should this be accomplished; the associated unit ventilator would need replaced as it would not be compatible the refrigerant that a new condensing unit would use.)
- Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.
- Replace the outdated roof exhaust fans.
- Replace the air handling units serving the Multi-Purpose Room and the Library.
- Revise the make-up air for the toilet rooms so that it is not coming from the corridor.
- Replace leaking B&G flow regulators.
- Replace the panelboards throughout the building.
- Replace the emergency generator. Add a second transfer switch to meet code.
- Replace the main fire alarm panel.
- Add fire alarm strobes in restrooms and classrooms to meet code (this will probably require the replacement of the main fire alarm panel.
- Replace the existing lighting throughout the building with LED lighting and low voltage controls.
- Add ground fault circuit interrupter receptacles where required by today's code.
- Upgrade the clocks and wiring if needed to make the clock system functional.

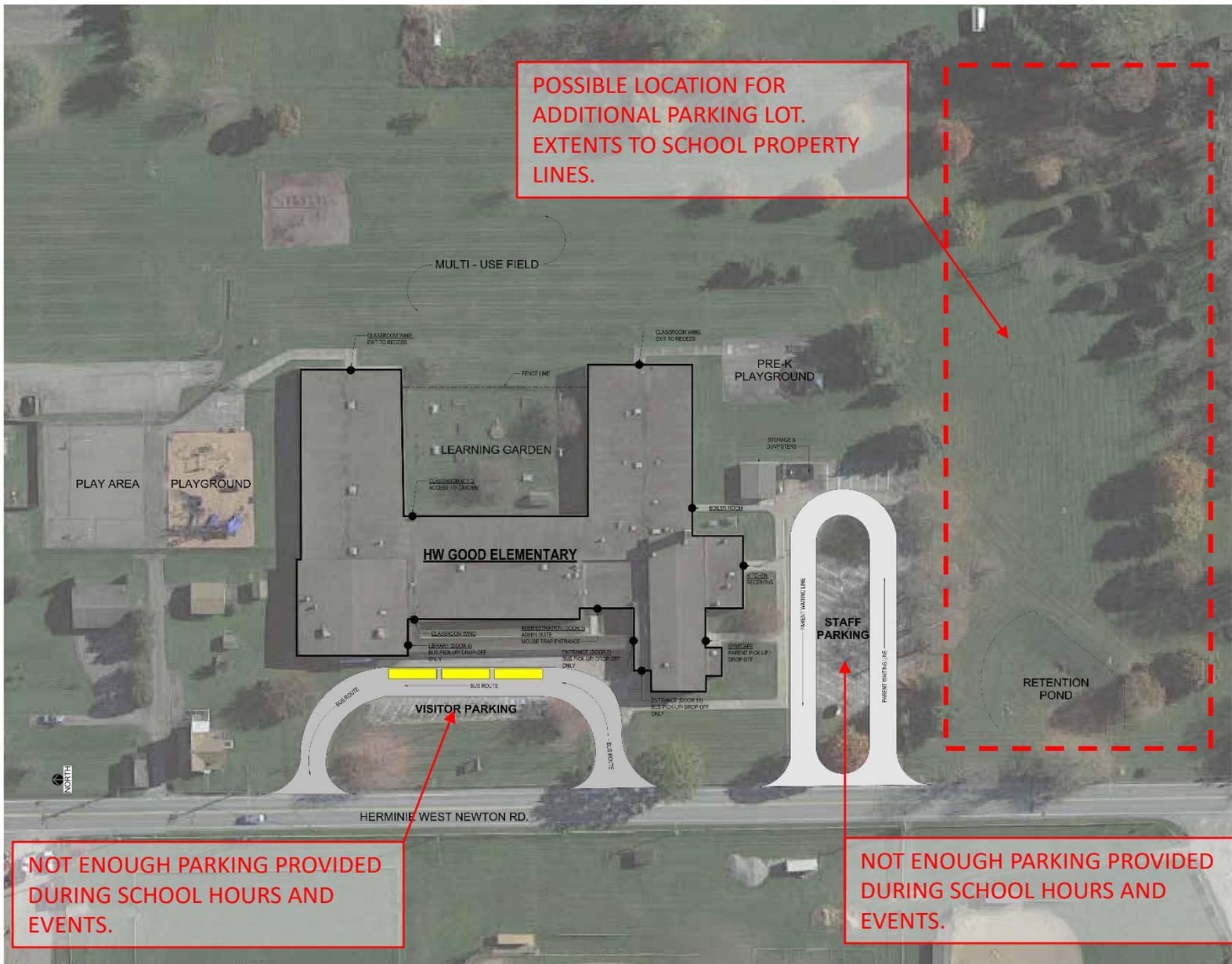
Plumbing items of note include:

- Replace the piping, both domestic water and sanitary that remained from the original construction of the building.
- Install trap seal guards in floor drains.

Electrical items of note include:

- Replace the existing switchboard





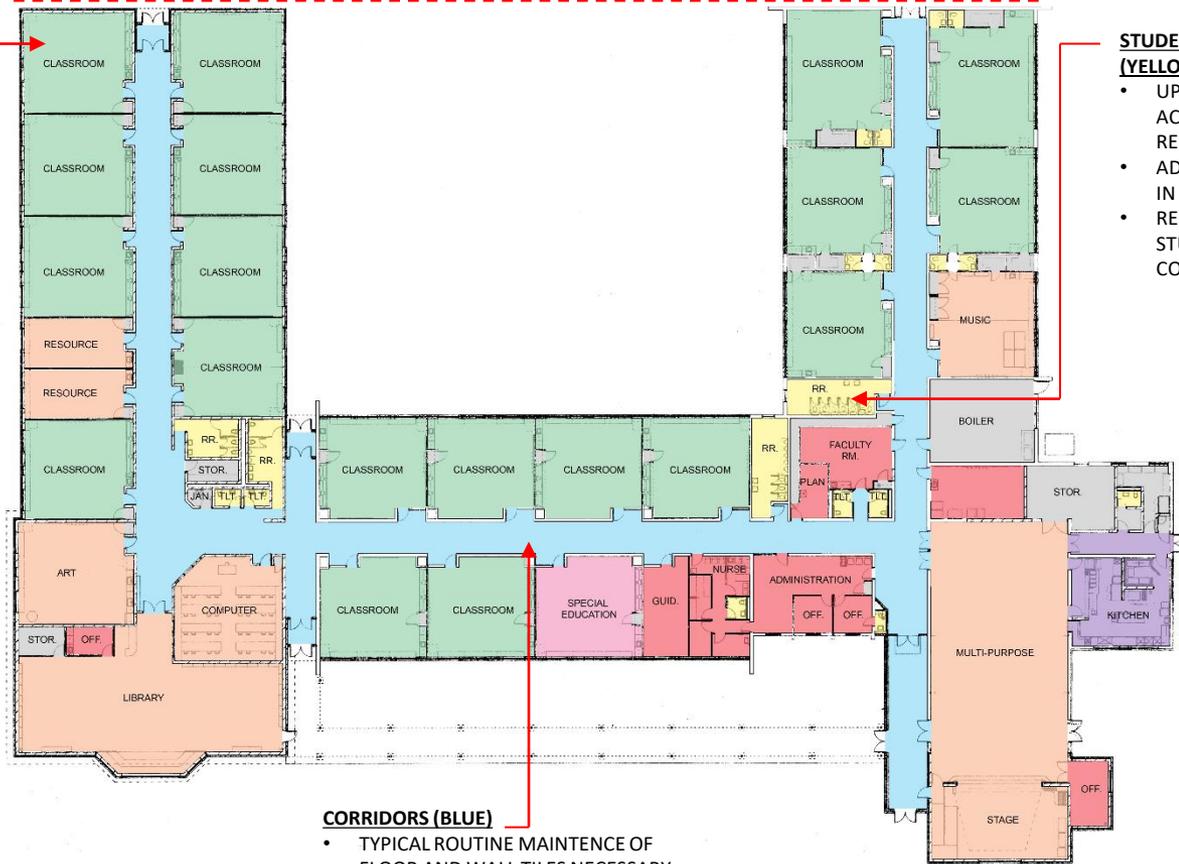




• IF NECESSARY, SPACE FOR CLASSROOM WING ADDITION IS AVAILABLE

CLASSROOMS (GREEN)

- INSUFFICIENT TEACHER AND STUDENT STORAGE. BOTH PARTIES SHARING SAME SPACE. ADDITION OF STUDENT LOCKERS IN CORRIDORS IF POSSIBLE. UPDATES TO TEACHER STORAGE NECESSARY.
- UNIT VENTS IN CLASSROOM AT END OF USEFUL LIFE.
- ADA APPROACH NECESSARY AT CLASSROOM CASEWORK.



STUDENT AND FACULTY RESTROOMS (YELLOW)

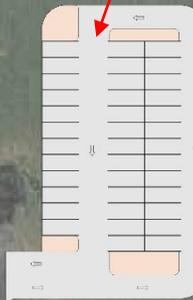
- UPGRADES FOR CURRENT ADA ACCESSIBILITY COMPLIANCE IN ALL RESTROOMS.
- ADDITIONS OF VERTICAL GRAB BARS IN STALLS
- RECONFIGURATION OF STALLS IN STUDENT RESTROOMS FOR ADA COMPLIANCE.

CORRIDORS (BLUE)

- TYPICAL ROUTINE MAINTENANCE OF FLOOR AND WALL TILES NECESSARY. REPLACE TILES, AS NECESSARY.
- LEAKING FROM ROOF IN LIBRARY CORRIDOR.

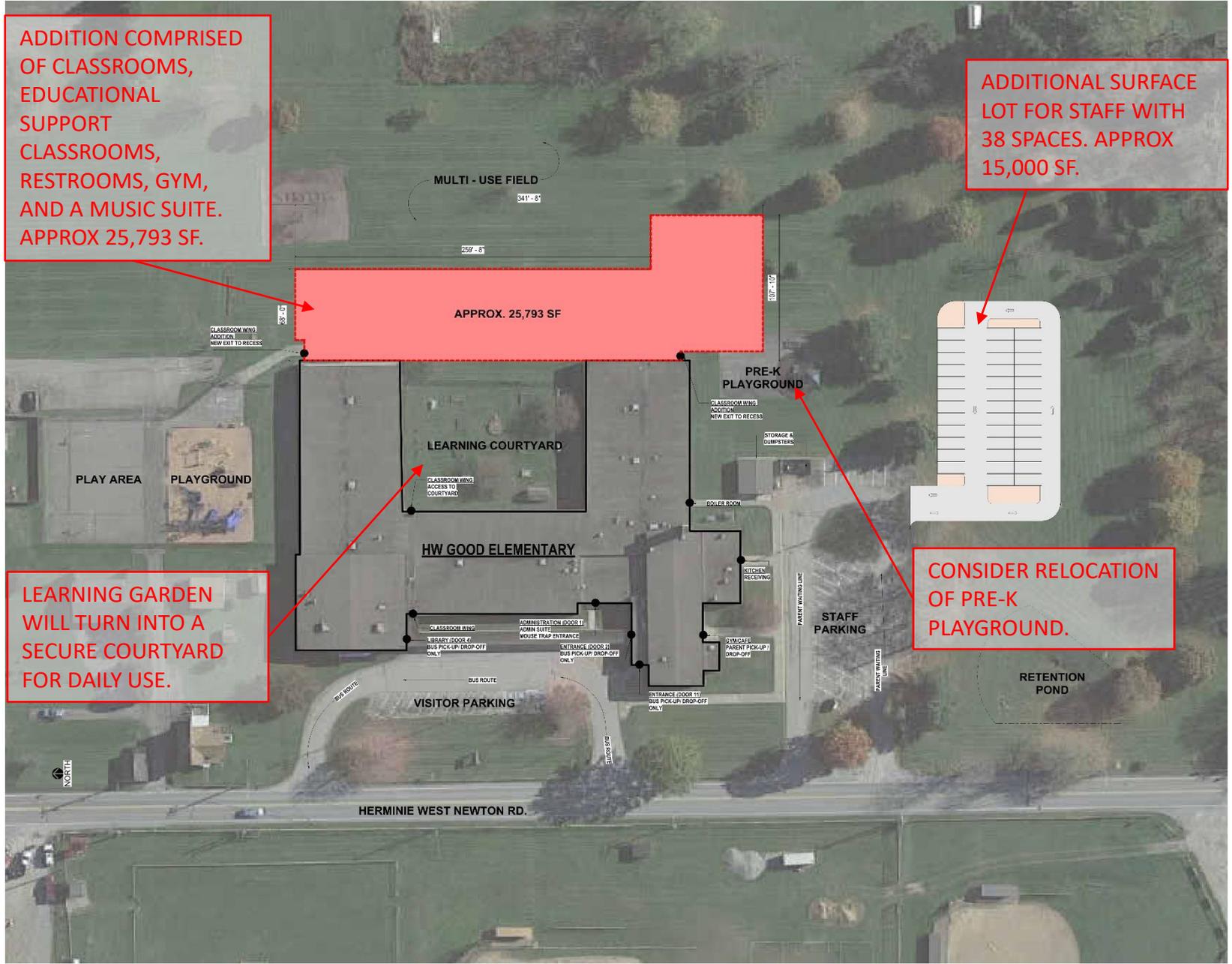
ADDITION COMPRISED OF CLASSROOMS, EDUCATIONAL SUPPORT CLASSROOMS, RESTROOMS, GYM, AND A MUSIC SUITE. APPROX 25,793 SF.

ADDITIONAL SURFACE LOT FOR STAFF WITH 38 SPACES. APPROX 15,000 SF.



CONSIDER RELOCATION OF PRE-K PLAYGROUND.

LEARNING GARDEN WILL TURN INTO A SECURE COURTYARD FOR DAILY USE.



CLASSROOMS (GREEN)

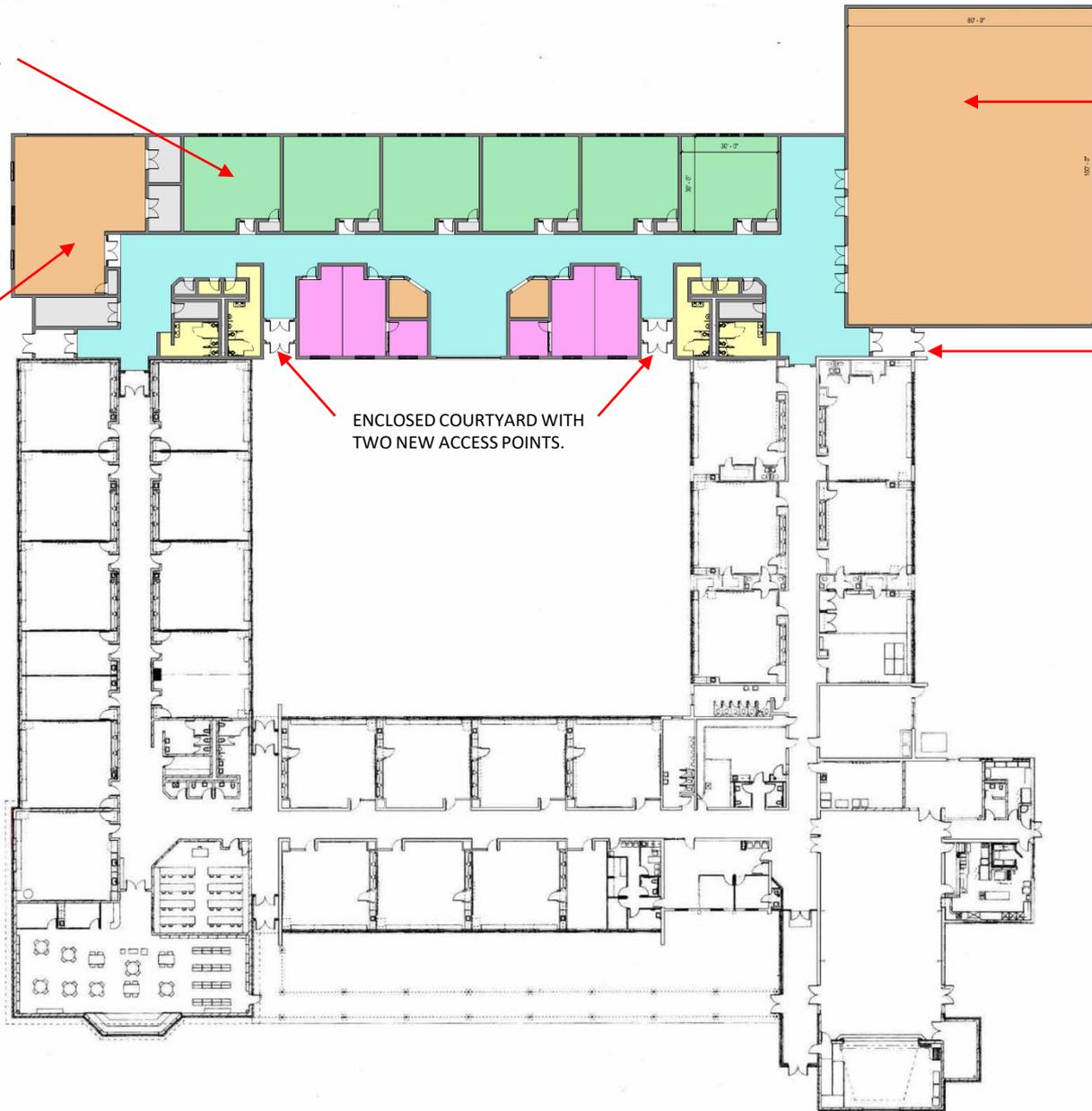
- ADDITIONAL 6 GENERAL CLASSROOMS. TYPICAL: 845 SF.
- SIMILAR SIZE TO EXISTING CLASSROOMS

MUSIC SUITE (ORANGE)

- DEDICATED MUSIC SUITE. MOVE PROGRAM FROM EXISTING LIBRARY.
- TO INCLUDE DEDICATED STORAGE FOR PAPER AND INSTRUMENTS.
- WHEN NOT IN USE, SPACE COULD DOUBLE AS A FLEX ROOM.

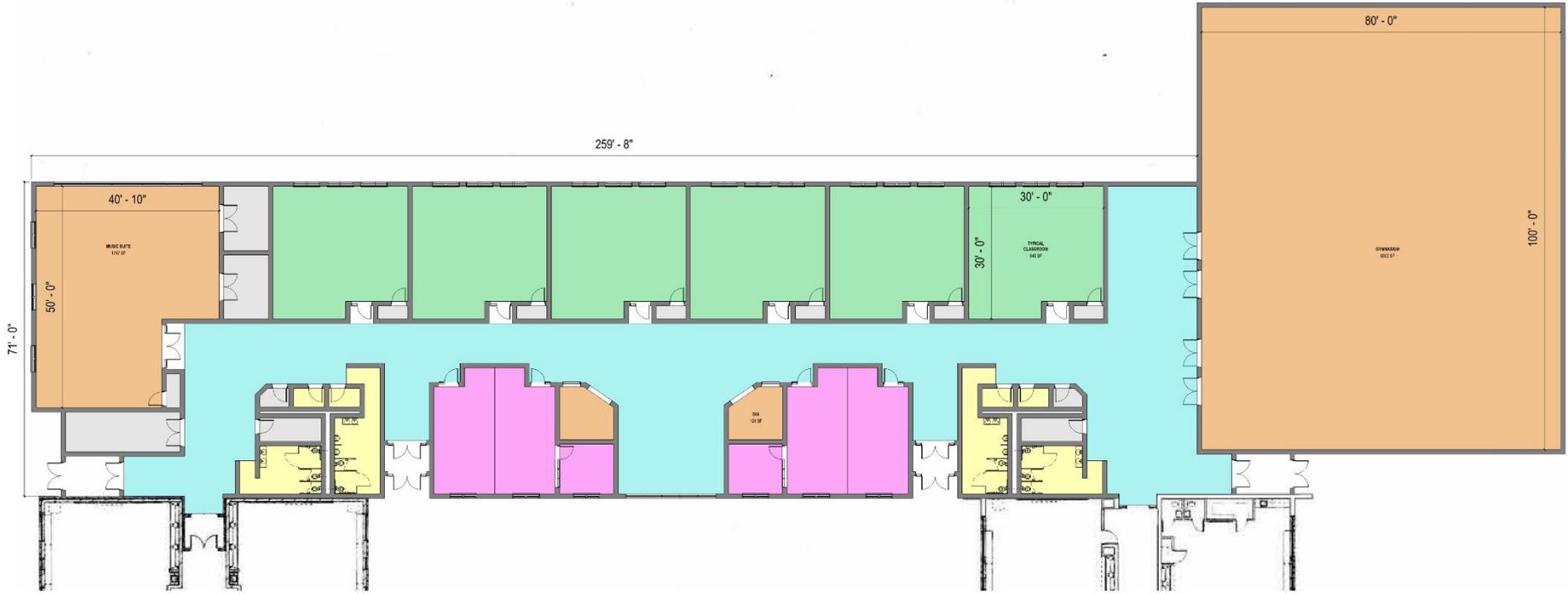
GYMNASIUM (ORANGE)

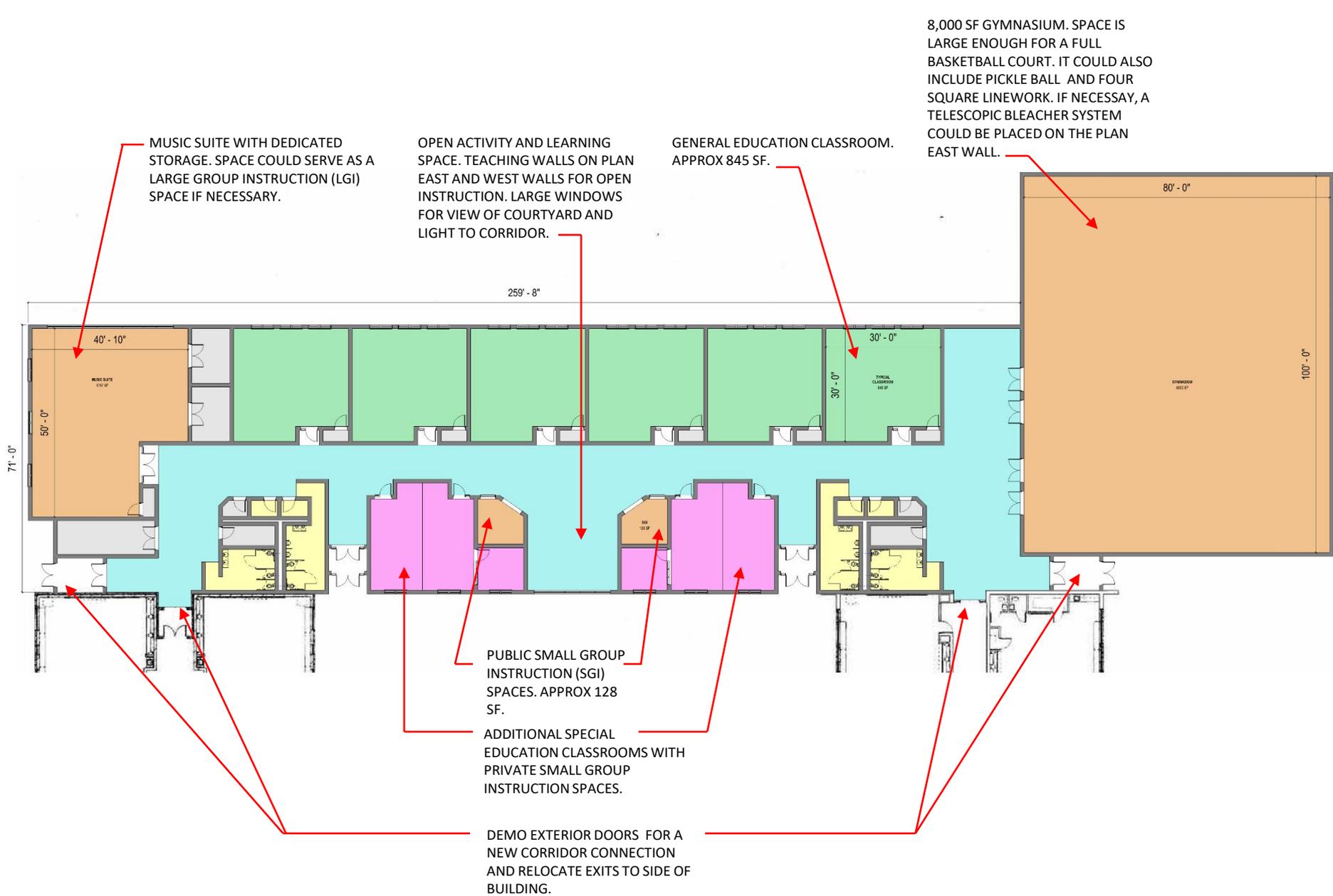
- DEDICATED GYMNASIUM. REPROGRAM MULTI-PURPOSE ROOM TO SERVE ONLY LUNCH HOURS AND PROGRAMS.



ENCLOSED COURTYARD WITH TWO NEW ACCESS POINTS.

RELOCATED EMERGENCY EXITS. TYPICAL OTHER SIDE. CAN USE THESE EXITS FOR RECESS AS WELL.





Mendon Elementary, constructed roughly 63 years ago, is the one of the District’s elementary buildings serving grades K thru 4. It is one of three elementary schools constructed over a nine-year period (from 1957 - 1966) utilizing a U-shaped floor plan similar to HW Good Elementary. HW Good, Mendon and West Newton are all 1-story schools. Overall, the building serves the District’s K-4 educational curriculum. Mendon’s current enrollment does not exceed its FTE capacity.

Mendon has been maintained and remains in good to fair condition. The building is primarily of masonry construction and overall is structurally sound. Some areas of concern will be discussed later in the study. Our review of the facility identified several deferred maintenance items that should be considered as part of the district’s ongoing capital improvement plans. With ongoing maintenance, the building should continue to serve the District for the next 10 to 15 years.



Date of Original Construction	1960	Last Renovations/ Additions	1993 - 1994
Grades	Kindergarten thru 4 th		
Stories	1 Story		
Occupancy Type	Educational		
Construction Type	Non-combustible		
Architectural Area	48,618 SF	Site Area	x acres
PDE FTE Capacity	450		
Current Enrollment	239		
Municipality	South Huntingdon Township		
Condition	Good / Fair		

Mendon Elementary School
164 PA-31
Ruffs Dale, PA 15679

Mendon ES – Existing Facility Assessment

ADA Accessibility Evaluation

ADA compliance was reviewed during the building survey. Elements include the site, interior, and building systems. Issues observed primarily relate to the existing site, egress paths, and restrooms.

Items of note include:

- ADA tactile signs must be present at all room locations.
 - **Recommendation:** Provide the required tactile room signs where missing.
- All exit doors also must have ADA tactile signs present to be considered an exit route.
 - **Recommendation:** Provide the required tactile exit signs at the exit doors. These signs should designate an accessible or non-accessible exit.
- The parking lot has ADA spots clearly marked with paint and signage. From these spots, an accessible route must be provided to the nearest curb cut. This must be distinguished through blue paint on the pavement.
 - **Recommendation:** Paint ADA travel path and mark ADA accessible spot in correct locations. This can be grouped with a future complete lot repainting project.
- All student restrooms, faculty toilets, and nurse's toilet need a vertical grab bar to meet current ADA code.
 - **Recommendation:** Install vertical grab bars where missing.
- All student restrooms need reconfiguration for current ADA accessibility code, which includes a dedicated ADA stall with no sink.
 - **Recommendation:** Reconfigure toilet rooms as necessary to provide adequate fixtures and layout for current code.
- Check mounting height requirements for bathroom accessories such as paper towel dispensers and wall mounted trash disposals.
 - **Recommendation:** Relocate accessories to meet ADA requirements.
- All classroom sinks are required to have an ADA approach. Side approach is allowed but front approach is preferred.
 - **Recommendation:** If casework is replaced in this future, it should be considered to modify the casework to provide the pull under approach to the sink.
- There are instances of non-compliant door hardware.
 - **Recommendation:** Replace non-compliant hardware as necessary.



ADA TRAVEL PATH NECESSARY FROM ASSIGNED ADA PARKING



CURRENT SIDE APPROACH AT CLASSROOM CASEWORK



VERTICAL GRAB BARS AND SINK REMOVAL FROM ALL ADA STALLS NECESSARY

Mendon ES – Existing Facility Assessment

Safety & Security Evaluation

Existing safety and security measures were included in our review along with input from the district.

- New doors placed at the controlled entrance and secure vestibule to create a “mouse trap” entrance.
 - Recommendation: none



CONTROLLED ADMIN ACCESS



NEW EXTERIOR DOORS



EXISTING FRAME TO REMAIN

Mendon ES – Existing Facility Assessment

Building Exterior Evaluation

The building exterior is generally in good condition, but it does have some areas requiring further investigation. Some areas indicated structural or integrity issues that are of concern.

Items of note include:

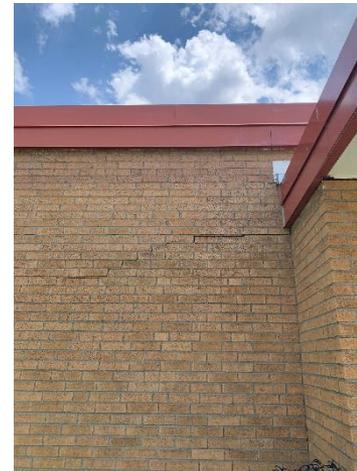
- Separation of flooring from base of wall recorded at several classrooms in one of the classroom wings. On site, it was predicted that the exterior walls were shifting either up or down. This is noticeable in multiple step cracks in the masonry along the exterior.
 - **Recommendation:** *Currently, it does not seem to be an immediate concern for the safety of occupants. It is advised to meet with a structural engineer before the issue becomes a larger problem. In the time between, routine filling of step cracks is recommended.*
- Both canopies have reported leaking with heavy rain through canopy structure and light fixtures. Paint is chipped and peeling from underside of canopy. Drainage and downspouts freeze during winter. District has reported that the side canopy that was once the bus drop off/ pick up is now only used for walkers. The canopy can be completely removed.
 - **Recommendation:** *Repaint underside and structure for cosmetic upgrades. Replace roof system and rework the drainage system to account for correct drainage slope.*
- Exterior doors currently being replaced.
 - **Recommendation:** *none*
- Windows appear to be in fair condition. Several screens on back side of building in need of replacement.
 - **Recommendation:** *Replace as necessary and perform routine maintenance as required. Inspect frames and paint as necessary.*



SHIFTING OF MASONRY AND NOTICABLE FILLING OF CRACKS



CRACKS AROUND PERIMETER



STEP CRACKS AROUND PERIMETER



IMPROPER DRAINAGE AND PEELING PAINT AT BOTH CANOPIES

Mendon ES – Existing Facility Assessment

Building Interior Evaluation

The building interior did not have any major deficiencies observed, but it does have some areas requiring further investigation. Items identified were mostly common throughout the building.

- Water staining at the ceiling systems was recorded throughout building. It should be noted that staining was present in multiple classrooms spaces adjacent to ceiling mounted mechanical units. It is also present at skylights and the location of the 1994 addition to the original school.
 - **Recommendation:** *Inspection to determine the cause of water leaking should be performed and the issues corrected. Yearly inspection of ceiling and mechanical systems should be performed, and repairs done, as necessary. Replacement of ceiling tiles should be done, as necessary.*
- The built-in casework systems in classrooms are worn and outdated.
 - **Recommendation:** *Consideration can be given to replacing the worn casework but not critical. Replacement of casework and sinks to provide ADA Accessibility is recommended.*
- Lighting throughout school is outdated and inadequate. It was discussed that the fixtures in both spaces are slated to be replaced with new LED lights as a district improvements project.
- Step cracks in wall present at classroom 101, 104, 105, 204, 207, 209, and 212.
 - **Recommendation:** *Determine the cause of the cracks by engaging a Structural Engineer for further investigation.*
- Sinking or shifting of slab in room 101, 105, 201, and 205. Rubber base at these floors pulling away from floor and wall. Currently, the settling/heaving does not present any trip hazard to faculty/ students.
 - **Recommendation:** *Determine the cause of the movement by engaging a Structural Engineer for further investigation.*
- Toilet partitions scratched and showing signs of wear.
 - **Recommendation:** *Replace partitions, as necessary. Can be grouped with a complete restroom renovation project to resolve ADA accessibility issues.*

- Miscellaneous interior floor and wall damage.
 - **Recommendation:** *Routine school-wide maintenance necessary*



DAMAGED TOILET PARTITIONS



LEAKING/ STAINING AT HVAC SYSTEMS AND SKYLIGHT



LEAKING/ STAINING AT JOINT OF NEW ADDITION



FLOOR OR WALL SHIFTING. SEPARATION OF FLOOR BASE



DAMAGED WALL FINISHES



AGED CASEWORK

Mendon ES – Existing Facility Assessment

Building General Classroom Evaluation

The building's general classrooms generally serve the district in terms of storage, layout, and function. Some items were identified to be areas of future upgrades for the district.

General Classrooms:

- General classrooms serve Mendon well in terms of layout and function. These classrooms can properly hold Mendon's average class size of 16-24 students. Existing technical equipment is in good shape. No issues have been reported.
- Most interior finishes are in decent condition. Some existing casework needs replaced; the cabinets fronts are stripped and peeling. ADA standards for sink casework could be applied during this upgrade.

Special Education Classrooms:

- There is 1 dedicated special education classroom with a single user toilet room. Both are in good condition, but the single user toilet room should be brought up to current ADA standards with the addition of grab bars.
- Life skills is only available at HW Good.
- District has reported that the speech therapist should be moved into a bigger room.
 - *Recommendation: Mendon has 1 extra classroom that is currently vacant. If enrollment remains steady, this room could be filled by their speech therapist.*

Kindergarten:

- Kindergarten currently occupies 3 classrooms. 2 classrooms were originally built to hold kindergarten and is slightly larger than the other room. Overall, the 3 spaces are good and the layout functions well during school hours.
- Kindergarten classrooms do have access to single user toilet rooms. As mentioned in the earlier sections, these toilet rooms should be brought up to current ADA standards with the addition of grab bars.
- There is a separate K-1 playground for outdoor recess.



CASEWORK EXAMPLE



TYPICAL GENERAL CLASSROOM

Mendon ES – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building specialty rooms did not have any major deficiencies observed. Items identified were mostly common throughout the building with only some unique conditions present that have the potential to become future issues.

Computer Classroom:

- Although the district is running at a 1 to 1 ratio of students to laptops, the room still functions as a dedicated computer space. There is no intention of changing the program of this room. Mendon has opportunities for flexible instruction elsewhere.
- Existing technology is in good condition.

Music Room:

- Existing acoustic treatment is sufficient during class time. No issues with sound transmission have been reported.
- Finishes are in decent condition and should continue to serve the district for another 5 – 10 years with routine maintenance.



MUSIC ROOM RISERS



LIBRARY SHELVING LAYOUT

Library:

- Multiple instances of water infiltration staining. Most occur near ceiling hung HVAC units and the skylight.
 - *Recommendation: Inspection to determine the cause of water leaking should be performed and the issues corrected. Replacement of ceiling tiles should be done, as necessary.*
- Existing finishes are in good condition and should continue to serve the district for another 5 – 10 years with routine maintenance. The district has indicated that they would like to add some decorative wall treatment and murals to the space.
- The current amount of shelving and furniture layout works well for the district. The district would like to upgrade their current furniture with more flexible and modern pieces. It is in their planning to upgrade these pieces through grant money in the upcoming years.
- Faculty does use the courtyard for private outdoor instruction. Landscape and hardscape upgrades have been made recently. District is looking into providing benches and shade through grants.

Mendon ES – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building specialty rooms did not have any major deficiencies observed. Items identified were mostly common throughout the building with only some unique conditions present that have the potential to become future issues.

Multi- Purpose:

- The district has not reported any issues regarding acoustics during occupied hours.
 - ***Recommendation:*** *Acoustic wall panels should cover 30% of wall surface. If sound becomes an issue in the future, cover the remaining percentage of wall surface with acoustic panels.*
- Finishes are in good condition and should continue to serve the district for another 5 – 10 years with routine maintenance.
- The stage curtain has recently been replaced. The existing stage lighting and sound systems are in good condition.

Art Room:

- One of the two existing sinks should be ADA accessible with a front or side approach.
 - ***Recommendation:*** *Alter sink casework at one fixture to allow an ADA front or side approach. A total casework upgrade could occur to provide more storage, modern finishes, and ADA standards.*
- New student workstations have been purchased by the district.



MULTI PURPOSE ROOM WALL TREATMENT



MULTI PURPOSE ROOM STAGE



ART ROOM CASEWORK AND LAYOUT

Mendon ES – Existing Facility Assessment

Site Evaluation

The building site did not have any major cosmetic deficiencies observed. Items identified relate to concrete and asphalt conditions.

Items of note include:

- Minor asphalt and concrete cracking is present throughout site – Sidewalks, curbs, and parking lot pavement. Cracking does not impede travel.
 - *Recommendation: Routine maintenance required and repair as necessary.*
- Concrete around flagpole is disintegrated.
 - *Recommendation: Routine maintenance required and repair as necessary.*
- Cracked asphalt and missing asphalt at back playground. Uneven walkway from concrete to asphalt. Playground's asphalt is currently being resealed.
 - *Recommendation: After resealing project, routine maintenance and repairs are required.*
- New playground equipment replaced over the summer.



BROKEN CONCRETE



NEW PLAYGROUND AND SEALED PAVEMENT

Mendon ES – Existing Facility Assessment

Food Service Equipment Evaluation

The kitchen facilities are TBD.

Items of note include:

- TBD



Mendon ES – Existing Facility Assessment

Building System Evaluation

The HVAC, Plumbing, and Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed below.

HVAC items of note include:

- The boiler units were installed in 2022 and are in good condition. The life expectancy of the boiler is approximately 20-25 years so there is plenty of life remaining in the boiler.
- The heat system piping in the 1994 addition was installed when that addition was constructed. The piping that remained is now over 60 years old and though there have not been any reported problems, that piping could become a maintenance issue at that age.
- The classrooms are served with unit ventilators. All units are at the end of their useful life.
- There are air handling units serving the Multi-Purpose Room and the Library. The air handling units are at their life expectancy of 25-30 years but the condensing unit for the Library is well past its expected life of 15-20 years.
- The Administrative Office area, Guidance area and two Computer Labs are air conditioned with split system unit ventilators. Though the unit vents are just past their expected life, the condensing units are significantly past their expected life of 15-20 years.
- Exhaust systems in toilet rooms consist of ceiling mounted grills ducted exhaust to roof mounted exhaust fans. The roof mounted exhaust fans were replaced in the 1994 renovations. Those fans are in fair condition.

Plumbing items of note include:

- The building service entrance is a 3" pipe that comes through the floor into a closet off a Classroom and splits into two lines, both of which have a backflow preventer, pressure regulator and shut off valve. The service looks to be in good condition, though one backflow preventer is showing a white corrosion.

- The sanitary system is connected to an onsite (across the street at the Middle School) sewage plant. It is over 60 years old. Despite that age, there are not significant problems but piping that old should be considered for replacement.
- All three water heaters appear to be in good condition.
- Plumbing fixtures are in fair condition.
- Water coolers have been upgraded with integral fillers, though not ADA accessible.
- There are no reported issues with the gas system.
- There are no fire protection sprinklers in the building.

Electrical items to note include:

- The circuit breakers in one switchboard are past their useful life. The main switchboard includes a remote mounted power arrester. It's noted that sometimes the main switch does not reset which could be a serious concern.
- A 35 KW 208/120 Volt, three phase natural gas generator serves life safety and emergency loads. At 29 years old it is nearly at its expected life of 30 years. A code change a few years ago now requires a transfer switch dedicated to life safety (lighting and exits signs) and a second transfer switch dedicated to equipment.
- The building has a Simplex fire alarm system with an older main Simplex 4002 fire alarm panel. This main panel is no longer manufactured, and replacement parts are limited.
- Receptacles in Restrooms are not ground fault circuit interrupter type as required by code.

Mendon ES – Existing Facility Assessment

Building System Recommendations

The HVAC, Plumbing, Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed in the previous page for reference.

HVAC items of note include:

- Add variable frequency drives to the hot water pumps.
- Replace the hot water piping that remains from the original building construction.
- Replace the unit ventilators due to age or install another type of HVAC system with better efficiency.
- Replace the condensing units (should this be accomplished; the associated unit ventilator would need replaced as it would not be compatible with the refrigerant that a new condensing unit would use.)
- Replace the Multi-Purpose Room air handling unit with a unit on the roof.
- Replace the Library air handling unit and associated condensing unit.
- Replace the corroded cabinet unit heaters, finned tube and convectors.
- Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.
- Replace the outdated roof exhaust fans.
- Revise the make-up air for the toilet rooms so that it is not coming from the corridor.

Plumbing items to note include:

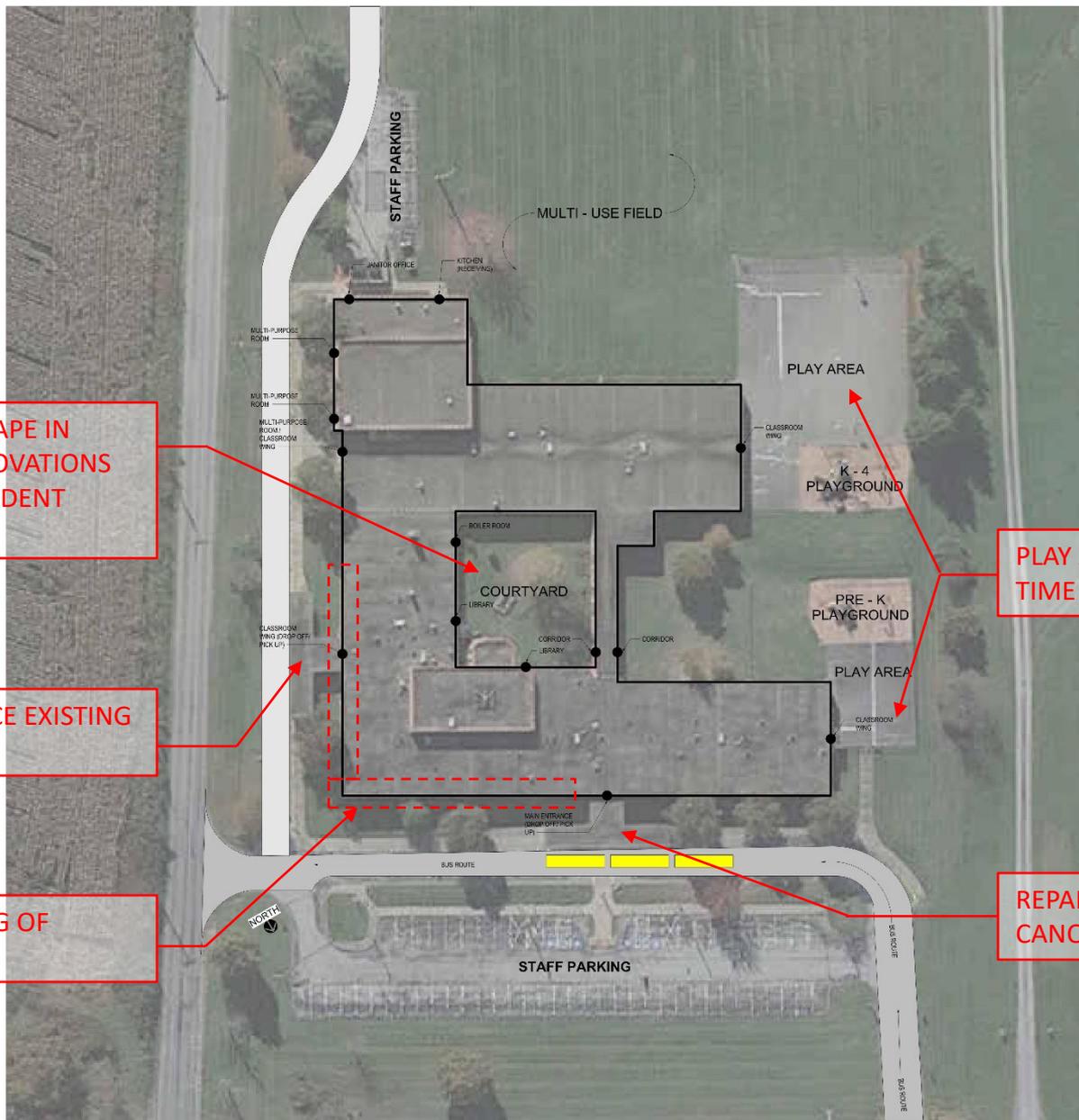
- Replace the piping, both domestic water and sanitary that is building original.
- In conjunction with architectural revisions, revise the canopy drainage so it is functional.

- Repair or replace the storm water piping where leaks have developed.
- Install trap seal guards in floor drains.
- Replace some of the water coolers with units that are handicapped accessible.

Electrical items to note include:

- Replace the existing switchboard
- Replace the panelboards throughout the building.
- Replace the emergency generator and add a second transfer switch to meet code.
- Replace the main fire alarm panel and add fire alarm strobes in restrooms and classrooms to meet code.
- Replace the existing lighting throughout the building with LED lighting and low voltage controls including occupancy sensors to meet code.
- Add ground fault circuit interrupter receptacles where required by today's code.
- Revise the clock system by replacing units and/or wiring to make the system functional.





ROUTINE LANDSCAPE IN COURTYARD. RENOVATIONS POSSIBLE FOR STUDENT UTILIZATION

REPAIR OR REPLACE EXISTING CANOPY

POSSIBLE SHIFTING OF EXTERIOR WALL

PLAY AREAS RESEALED AT TIME OF STUDY

REPAIR OR REPLACE EXISTING CANOPY





STUDENT AND FACULTY RESTROOMS (YELLOW)

- UPGRADES FOR CURRENT ADA ACCESSIBILITY COMPLIANCE IN ALL RESTROOMS.
- ADDITIONS OF VERTICAL GRAB BARS IN STALLS
- RECONFIGURATION OF STALLS IN STUDENT RESTROOMS FOR ADA COMPLIANCE.

WALL AND FLOOR SHIFTING RECORDED ON ALONG THIS CORNER. EVALUATION IS NECESSARY AND SHOULD BE CONDUCTED SCHOOL WIDE.

CANOPY RENOVATION AT THIS DOOR

CLASSROOMS (GREEN)

- INSUFFICIENT TEACHER AND STUDENT STORAGE.
- ADA APPROACH NECESSARY AT CLASSROOM CASEWORK. REPLACE CASEWORK FOR ADA APPROACH AND WORN FINISHES.

COURTYARD

- MAINTENANCE HAS BEEN DEFERRED ON COURTYARD. LANDSCAPING OVERGROWN
- SPACE COULD BE USED AS A SECURE OUTDOOR SPACE FOR STUDENTS

CANOPY RENOVATION AT MAIN ENTRANCE

West Newton Elementary, constructed roughly 57 years ago, was the last of the District’s elementary buildings to be built, serving grades K thru 4. It is one of three elementary schools constructed over a nine-year period (from 1957 - 1966). HW Good, Mendon and West Newton are all 1-story schools. Overall, the building serves the District’s K-4 educational curriculum. West Newton’s current enrollment does not exceed its FTE capacity.

West Newton was closed for a period but has been maintained and remains in good to fair condition. The building is primarily of masonry construction and overall is structurally sound. Our review of the facility identified several deferred maintenance items that should be considered as part of the district’s ongoing capital improvement plans. With ongoing maintenance, the building should continue to serve the District for the next 10 to 15 years.

Date of Original Construction	1966	Last Renovations/ Additions	1993 - 1994
Grades	Kindergarten thru 4 th		
Stories	1 Story		
Occupancy Type	Educational		
Construction Type	Non-combustible		
Architectural Area	50, 514 SF	Site Area	x acres
PDE FTE Capacity	475		
Current Enrollment	163		
Municipality	West Newton Borough		
Condition	Good		



West Newton Elementary School
 1208 Vine Street
 West Newton, PA 15089

West Newton ES – Existing Facility Assessment

ADA Accessibility Evaluation

ADA compliance was reviewed during the building survey. Elements include the site, interior, and building systems. Issues observed primarily relate to the existing site, egress paths, and restrooms.

Items of note include:

- ADA tactile signs must be present at all room locations.
 - **Recommendation:** Provide the required tactile room signs where missing.
- All exit doors must have ADA tactile signs present to be considered an exit route.
 - **Recommendation:** Provide the required tactile exit signs where missing. These signs should designate an accessible or non-accessible exit.
- The parking lot has ADA spots clearly marked with paint and signage. From these spots, an accessible route must be provided to the nearest curb cut. This must be distinguished through blue paint on the pavement.
 - **Recommendation:** Paint ADA travel path and mark ADA accessible spot in correct locations. This can be grouped with a future complete lot repainting project.
- All student restrooms, faculty toilets, and nurse's toilet need a vertical grab bar to meet current ADA code.
 - **Recommendation:** Provide vertical grab bars where missing.
- All student restrooms need reconfiguration for current ADA plumbing code, which includes a dedicated ADA stall with no sink.
 - **Recommendation:** Reconfigure toilet rooms as necessary to provide adequate fixtures and layout for current code.
- Check mounting height requirements for bathroom accessories such as paper towel dispensers and wall mounted trash disposals.
 - **Recommendation:** relocate accessories as required to meet code.
- All classroom sinks are required to have an ADA approach. Side approach is allowed but front approach is preferred.
 - **Recommendation:** If casework is replaced in this future, it should be considered to modify the casework to provide the pull under approach to the sink.
- There are instances of non-compliant door hardware. Panic hardware necessary at kitchen (door 6).
 - **Recommendation:** Replace door hardware or provide panic hardware as necessary.



NO VERTICAL GRAB BARS AND NONCOMPLIANT CONFIGURATION



SIDE SINK APPROACH



REPAINT ADA LINEWORK

West Newton ES – Existing Facility Assessment

Safety & Security Evaluation

In addition to our review, the buildings were reviewed and provided feedback from the district.

Items of note include:

- Controlled access to administrative suite is in place. No reported issues with access to administrative suite during school hours.
- Door side lights have been upgraded with 3M impact resistant film.
 - *Recommendation: none*
- Directional signage for visitors at secondary as well as main entrance is not provided. These are required by code.
 - *Recommendation: Signage should be placed at all secondary entrance doors directing visitors to the main entrance. The main entrance shall have signage instructing visitors to sign in at the office upon entering.*



TYPICAL CLASSROOM ENTRANCE



VISITOR SIGNAGE AT INTERIOR OF VESTIBULE. SIMILAR SIGNAGE TO BE PLACED ON EXTERIOR.

West Newton ES – Existing Facility Assessment

Building Exterior Evaluation

The building exterior is generally in good shape with mainly minor issues identified. No areas on the exterior indicated any structural or integrity issues of immediate concern.

Items of note include:

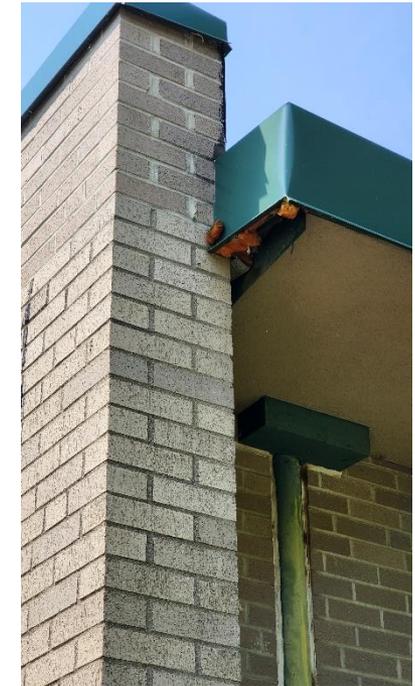
- Recaulking around window and door jamb, heads, and sills is necessary. This should be implemented into yearly routine maintenance.
- Some exterior doors are rusted and do not close properly.
 - Recommendation: Replace trouble doors as necessary or replace all exterior doors as future project.
- Metal paint in some locations (doors and window trim) is faded and worn.
 - Recommendation: Paint as necessary. Routine maintenance should be performed as required.
- Mold/ mildew present in some building exterior locations.
 - Recommendation: Clean exterior surfaces, as necessary. Routine maintenance and inspection necessary to check for water damage and leaking in these areas.



MILDEW PRESENT AT EXTERIOR LOCATIONS



ROUTINE MAINTENANCE OF EXTERIOR DOORS AND WINDOWS



ROUTINE MAINTENANCE OF ROOF

Roof Evaluation

The built up roof is in good overall condition, and in the middle of its useful life.

Items of note include:

- District has indicated instances of leaking from roof.
 - Recommendation: Review current state of roof and repair as required. Perform yearly maintenance checks on roof system and repair as necessary.

West Newton ES – Existing Facility Assessment

Building Interior Evaluation

The building interior did not have any major deficiencies observed. Items identified were mostly common throughout the building.

- Water staining at the ceiling systems was mainly localized to adjacent to ceiling mounted mechanical units. Continued water saturation could foster mold growth from long term water exposure to ceiling and adjacent systems.
 - **Recommendation:** Inspection to determine the cause of water leaking should be performed and the issues corrected. Yearly inspection of ceiling and mechanical systems should be performed, and repairs done, as necessary. Replacement of ceiling tiles should be done, as necessary.
- Lighting throughout is inadequate.
 - **Recommendation:** update to LED throughout.
- Wall and floor tiles in restrooms are near end of their useful life.
 - **Recommendation:** Routine maintenance and cleaning of these surfaces as required. New finishes could be combined with ADA accessibility upgrades for total restroom renovations.
- Cracking and chipping of classroom casework recorded.
 - **Recommendation:** Consideration can be given to replacing the worn casework but not critical. Replacement of casework and sinks to provide ADA Accessibility is recommended.
- Acoustic treatment in multi-purpose space is inadequate.
 - **Recommendation:** Add additional acoustic wall panels if additional acoustical treatment is needed. Rule of thumb is 30% of wall surface should have acoustical panels.



WATER STAINS WHERE ADDITION MEETS ORIGINAL BUILDING



WATER STAINS NEAR HVAC UNITS



DAMAGED CASEWORK WITH SIDE APPROACH



ACOUSTIC TREATMENTS IN MULTI-PURPOSE

West Newton ES – Existing Facility Assessment

Building General Classroom Evaluation

The building's general classrooms generally serve the district in terms of storage, layout, and function. Some items were identified to be areas of future upgrades for the district.

General Classrooms:

- The general classrooms serve West Newton well in terms of layout and function. These classrooms can properly hold the average class size of 15-20 students. Existing technical equipment is in good shape. No issues have been reported.
- Most interior finishes are in decent condition and should continue to serve the district for the next 5 – 10 years.
- The school has plenty of vacant classrooms in the case of an enrollment increase.

Special Education Classrooms:

- Special education, occupational therapy/ physical therapy, speech, and gifted services all have their own classroom. The school also has dedicated space for a sensory room and a breakout room.
- Life skills is only available at HW Good.

Kindergarten:

- Kindergarten spaces are good for the current enrollment and the layout functions well during school hours.
- Kindergarten classrooms do have access to single user toilet rooms. As mentioned in the earlier sections, these toilet rooms should be brought up to current ADA standards with the addition of grab bars.



CLASSROOM LAYOUT



CLASSROOM CASEWORK



CLASSROOM STORAGE

West Newton ES – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building specialty rooms did not have any major deficiencies observed. Items identified were mostly common throughout the building with only some unique conditions present that have the potential to become future issues.

Music Room:

- Room size is sufficient for classes. Finishes are in decent condition and should continue to serve the district for another 5 – 10 years.
- The district has reported that it does get loud in the room during class time.
 - **Recommendation:** 30% of the wall surface should be covered in some acoustic panel for proper treatment. These additional panels should remedy the sound issue.
- Existing desks and chairs replaced risers in this space. District removed the risers because of reoccurring safety issues.

Library:

- The size of the existing library comfortably serves the current enrollment.
- Although the existing finishes are in decent condition, the library would benefit from a renovation to lighting, furniture, and finishes. The district is interested in the idea of a half library and half media center upgrade.
 - **Recommendation:** Renovate library within its existing boundaries. New flooring, paint, and wall treatments can be added to bring texture and color into the space. Statement light fixtures can be added to delineate areas within the new media center, but also add color and acoustic treatment. Cost saving measures can be executed by reusing the existing shelving. The existing shelves can be consolidated and purged if necessary to allow for a new layout. Flexible soft seating and student workstations can give the district an ever-changing space for modern instruction.



EXISTING MUSIC ROOM



LIBRARY SHELVING LAYOUT



LIBRARY FURNITURE

West Newton ES – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building specialty rooms did not have any major deficiencies observed. Items identified were mostly common throughout the building with only some unique conditions present that have the potential to become future issues.

Multi- Purpose:

- Space is adequate for the current enrollment. No reported issues regarding size or scheduling conflicts.
- The district has reported that it does get loud during class time.
 - ***Recommendation:*** 30% of the wall surface should be covered in some acoustic panel for proper treatment. These additional panels should remedy the sound issue.
- The stage's existing technical equipment is sufficient for the use it receives. Stage is used mostly for physical education storage.
- The district is concerned about the stairs in front of the stage. They view it as a safety hazard for students during gym time.
 - ***Recommendation:*** Remove stairs and provide a rubber nosing at the edge of the stage. Students will enter the stage from the adjacent ramp.

Art Room:

- Size and layout of the room is sufficient and functions well during school hours.
- Finishes are in decent condition and should continue to serve the district for another 5 – 10 years. The district is interested in new wall treatment to bring some color into the space.
 - ***Recommendation:*** The district could paint a couple walls with an accent color on their own. A complete room renovation would allow for new, colorful wall and floor finishes.
- One of the two existing sinks should be ADA accessible with a front or side approach.
 - ***Recommendation:*** Alter sink casework at one fixture to allow an ADA front or side approach. A total casework upgrade could occur to provide more storage, modern finishes, and ADA standards.



MULTIPURPOSE RM: STAGE, ACOUSTIC TREATMENT, FINISHES



MULTI – PURPOSE WINDOWS AND PANNELLING



ART ROOM CASEWORK AND LAYOUT

West Newton ES – Existing Facility Assessment

Site Evaluation

The building site did not have any major cosmetic deficiencies observed. Items identified relate to concrete and asphalt conditions.

Items of note include:

- Minor asphalt and concrete cracking is present throughout site – Sidewalks, curbs, and parking lot pavement. Cracking does not impede travel.
 - **Recommendation:** For concrete paving, routine maintenance required and repair as necessary.
 - **Recommendation:** At asphalt paving, have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future.
- District reports that playgrounds are in bad shape. Cracking present in asphalt of play area/ basketball area.
 - **Recommendation:** Repair and patch asphalt as necessary. Replace playground equipment at end of useful life. Playground updates and lot repaving could be joined into one larger exterior renovation project.



CRACKS IN ASPHALT AT PLAY AREA. LARGE PAVED AREA, SMALL PLAYGROUND



CRACKS IN ASPHALT AND CONCRETE AT FACULTY LOT

West Newton ES – Existing Facility Assessment

Food Service Equipment Evaluation

The kitchen facilities are TBD.

Items of note include:

- TBD



West Newton ES – Existing Facility Assessment

Building System Evaluation

The HVAC, Plumbing, and Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed below.

HVAC items of note include:

- The boiler units were installed in 2022 and are in good condition. The life expectancy of the boiler is approximately 20-25 years so there is plenty of life remaining in the boiler.
- The hot water piping that remained after the renovation is now over 55 years old and though there have not been any reported problems with the piping itself, the isolation valves do not operate. This is one of multiple maintenance issues that can be expected with piping at that age.
- The building original unit vents are now 55 years old and well past their life expectancy. Even the newer units, installed in 1994, are 29 years old and at the end of their expected life of 25-30 years. Maintenance issues with 55-year-old units have become apparent as replacement coils must be custom manufactured.
- The air handling units for library and multi-purpose room are at their life expectancy of 25-30 years but the condensing unit for the Library is well past its expected life of 15-20 years.
- The unit vents for the administration suite and computer labs are just past their expected life, the condensing units are significantly past their expected life of 15-20 years.
- Current exhaust system is not code compliant. To meet the code, make-up air should come from the ceiling plenum space in the adjacent rooms.

Plumbing items of note include:

- The plumbing service looks to be in good condition, though one backflow preventer is showing a white corrosion.
- There have been problems with the underground sanitary piping, most likely due to the age. Piping that old should be considered for replacement.
- There are no reported issues with the gas system.

- There are no fire protection sprinklers in the building.

Electrical items to note include:

- The circuit breakers in the building original section are significantly past that timeframe and even the circuit breakers in the new section are past that age.
- At 29 years old, even the circuit breakers in the newer panels are past the age of what manufactures deem the reliability of circuit breakers which is 25 years.
- The building has a Simplex fire alarm system with an older main Simplex 4002 fire alarm panel. This panel is no longer manufactured by Simplex and replacement parts are limited.
- LED lighting should replace all interior and exterior lighting.
- Receptacles in restrooms are not ground fault circuit interrupter type as required by code.

West Newton ES – Existing Facility Assessment

Building System Recommendations

The HVAC, Plumbing, Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed in the previous page for reference.

HVAC items of note include:

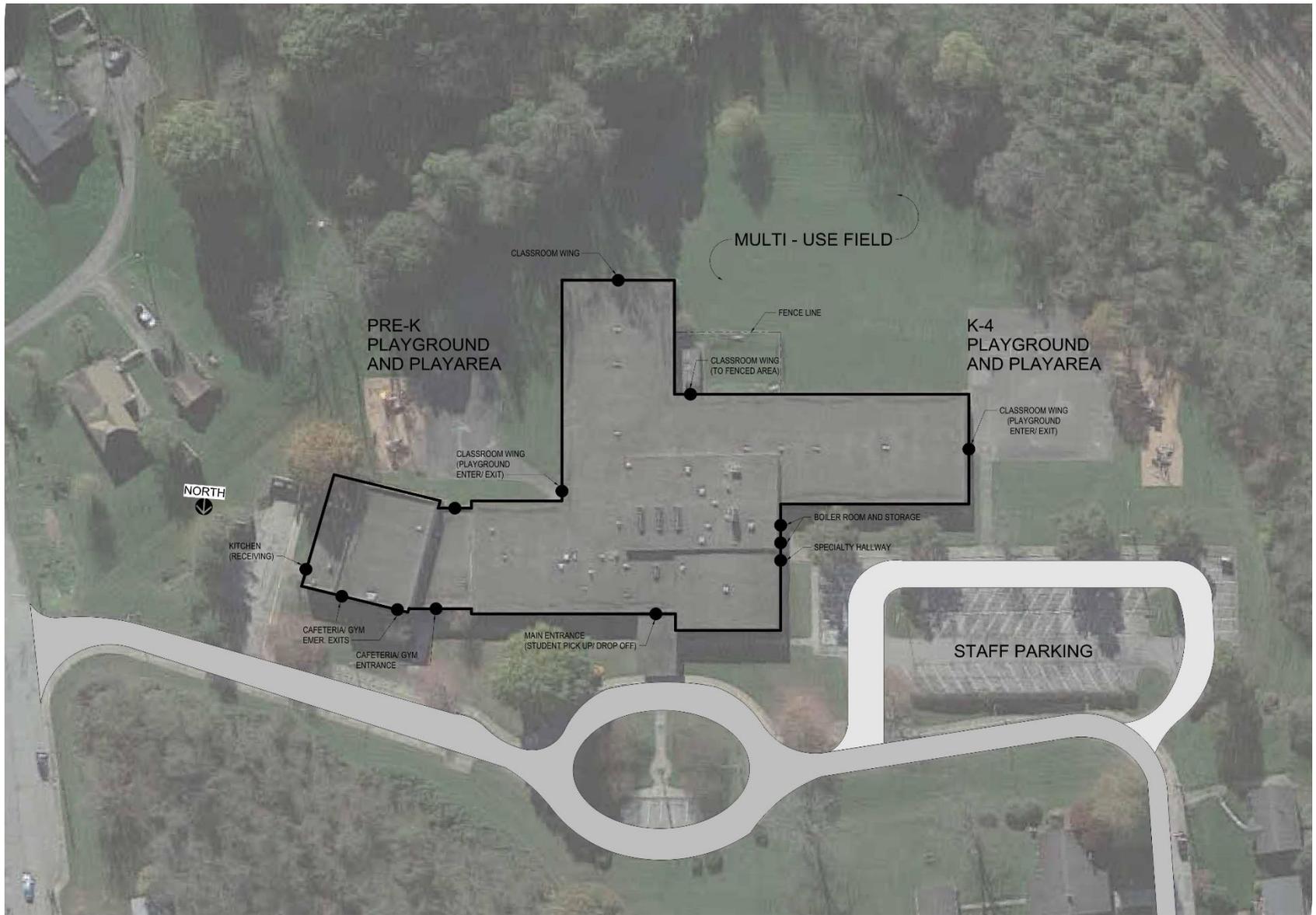
- Replace the hot water piping that remains from the original building construction and the isolation valves throughout the building.
- Replace the unit ventilators due to age or install another type of HVAC system with better efficiency.
- Replace the condensing units (should this be accomplished; the associated unit ventilator would need replaced as it would not be compatible the refrigerant that a new condensing unit would use.)
- Replace the Multi-Purpose Room and Library air handling units. Replace the condensing unit associated with the Library.
- Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.
- Replace the outdated roof exhaust fans.
- Revise the make-up air for the toilet rooms so that it is not coming from the corridor.
- Install ventilation/exhaust for the emergency generator.

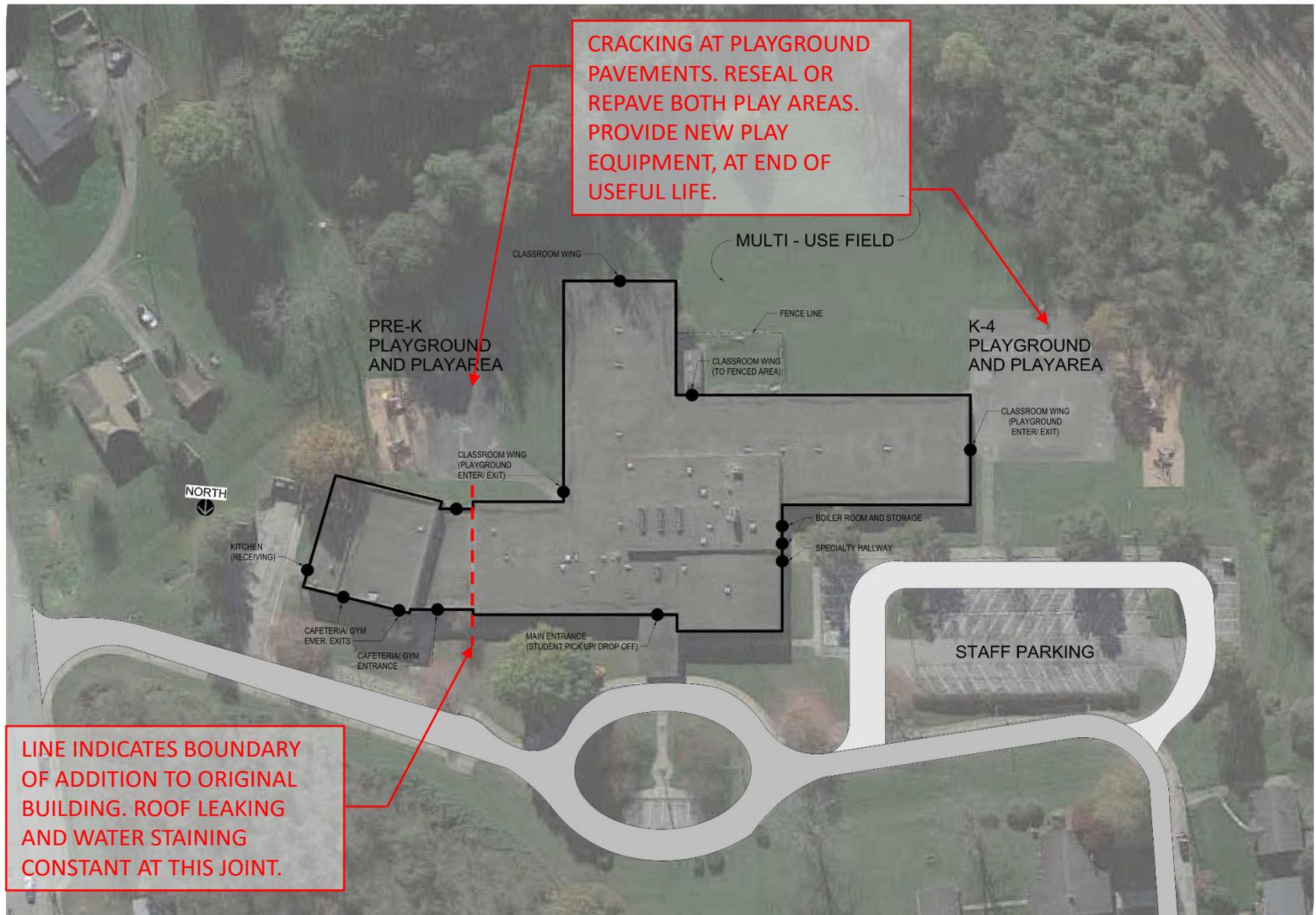
Plumbing items of note include:

- Replace the piping, both domestic water and sanitary that is building original.
- Replace the quantity of lavatories, urinals and water coolers to meet handicapped requirements.
- Install trap seal guards in floor drains.

Electrical items of note include:

- Replace the existing switchboard
- Replace the panelboards throughout the building.
- Add a second transfer switch to meet code.
- Replace the main fire alarm panel and add fire alarm strobes in restrooms and classrooms to meet code.
- Replace the existing lighting throughout the building with LED lighting and low voltage controls including occupancy sensors.
- Add ground fault circuit interrupter receptacles where required by today's code.
- Revise the clock by replacing units and/or wiring to make the system functional.







ROOF LEAKING AND WATER STAINING PRESENT AT THESE LOCATIONS. LINES DELINEATE THE 1994 ADDITION BOUNDARY AND PLACEMENT OF LARGE SKYLIGHT.

1994 ADDITION

ORIGINAL SCHOOL

STUDENT AND FACULTY RESTROOMS (YELLOW)

- UPGRADES FOR CURRENT ADA ACCESSIBILITY COMPLIANCE IN ALL RESTROOMS.
- ADDITIONS OF VERTICAL GRAB BARS IN STALLS
- RECONFIGURATION OF STALLS IN STUDENT RESTROOMS FOR ADA COMPLIANCE.

ADDITIONAL ACOUSTIC WALL TILE NECESSARY IN THE CAFETERIA/ GYM.



Yough Intermediate Middle School, constructed roughly 42 years ago, then completely renovated in 2006, is the newest of the district's buildings serving grades 5 thru 8. Intermediate Middle's current enrollment does not exceed it's FTE capacity.

Intermediate Middle is a newer building and is in good condition. The building is primarily of masonry construction and is structurally sound. Our review of the facility identified minimal deferred maintenance items that should be considered as part of the district's ongoing capital improvement plans. With ongoing maintenance, the building should continue to serve the District for the next 20 years.



Date of Original Construction	1981	Last Renovations/ Additions	2006
Grades	5 th thru 8 th		
Stories	2 stories		
Occupancy Type	Educational		
Construction Type	Non-combustible		
Architectural Area	132,814 SF	Site Area	x acres
PDE FTE Capacity (25/homeroom)	925		
Current Enrollment	563		
Municipality	South Huntingdon Township		
Condition	Good		

Intermediate Middle School

171 PA-31

Ruffs Dale, PA 15670

Intermediate Middle – Existing Facility Assessment

ADA Accessibility Evaluation

ADA compliance was reviewed during the building survey. Elements include the site, interior, and building systems. Issues observed primarily relate to the existing site, egress paths, and restrooms.

Items of note include:

- The parking lot has ADA spots clearly marked with paint and signage. From these spots, an accessible route must be provided to the nearest curb cut. This must be distinguished through blue paint on the pavement.
 - **Recommendation:** *Paint ADA travel path and mark ADA accessible spot in correct locations. This can be grouped with a future complete lot repainting project.*
- All student restrooms, faculty toilets, and nurse's toilet need a vertical grab bar to meet current ADA code.
 - **Recommendation:** *Install vertical grab bars to meet current codes in all restrooms and faculty toilets.*
- Check mounting height requirements for bathroom accessories such as paper towel dispensers and wall mounted trash disposals.
- All classroom and FCS sinks are required to have an ADA approach. Side approach is allowed but front approach is preferred.
 - **Recommendation:** *If casework is replaced in this future, it should be considered to modify the casework to provide the pull under approach to the sink.*
- Shower rooms have wall mounted stainless steel shrouds with multiple control valves and shower heads on each. These appear to be in good condition but do not meet ADA handicapped requirements.
 - **Recommendation:** *Replace stainless steel shrouds with ADA compliant fixtures.*



VERTICAL GRAB BARS NECESSARY IN STUDENT RESTROOMS AND NURSE'S SUITE



AT LEAST ONE SINK IN FCS CLASSROOM SHOULD BE ADA ACCESSIBLE



SINKS IN CLASSROOM CASEWORK DO NOT HAVE FRONT OR SIDE APPROACH

Intermediate Middle – Existing Facility Assessment

Safety & Security Evaluation

In addition to our review, the evaluations include feedback from the district.

Items of note include:

- Secure vestibule entrance in place and no issues during the school day have been reported.
 - Recommendation: none



SECURE VESTIBULE AT MAIN ENTRANCE



ENTRANCE TO ADMIN SUITE

Intermediate Middle – Existing Facility Assessment

Building Exterior Evaluation

The building exterior is generally in good condition with mainly minor issues identified. No areas on the exterior indicated any structural or integrity issues of immediate concern.

Items of note include:

- New concrete work needs to be addressed on the border of entrance 1/ flagpole entrance.
 - **Recommendation:** *repair broken concrete as necessary. Routine inspection is required.*
- There is one cracked window in wrestling room.
 - **Recommendation:** *Repair window and keep up with routine maintenance, as necessary.*
- Landscape in front of building near main entrance.
 - **Recommendation:** *Replant and routine maintenance, as necessary.*



DETERIORATING CONCRETE AT
ENTRANCE



MISC. BROKEN EXTERIOR BRICK
VENEER

Roof Evaluation

The building roof is in good overall condition, and in the middle of its useful life.

Items of note include:

- No major defects or damage was observed during review.
- Leaks have been reported in various parts of the building. It is to be determined whether leaks are coming from HVAC systems or a roof compromise.
 - **Recommendation:** *Routine inspections of problem areas and repair as necessary.*



ROUTINE MAINTENANCE OF ROOF

Intermediate Middle – Existing Facility Assessment

Building Interior Evaluation

Interior items identified were miscellaneous throughout the building. Issues identified are not of immediate concern given the building's age and care.

Items of note include:

- Some flooring in classrooms are showing signs of wear. Chairs over time have left holes in the floor.
 - Recommendation: *Repair flooring tiles as required. Routine maintenance to floor finish, as necessary.*
- Cracks in walls have been reported by district near cafeteria.
 - Recommendation: *Routine inspection necessary. If cracking continues, it is advised to have the situation reviewed before becoming a larger issue.*
- Corridor wall bases are pulling away from the wall. Shifting or settling could be occurring.
 - Recommendation: *Patch or replace damaged base. Routine inspection required.*
- Leaks in ceiling are reported in girl's locker room, outside the gym, and near the cafeteria.
 - Recommendation: *Routine inspection required and replace ceiling tiles, as necessary.*
- Clocks outside the guidance office does not work. There are no clocks in the auditorium.
 - Recommendation: *Repair non-working clocks and extend system into the auditorium.*
- District has indicated that they are currently looking into replacing all existing light fixtures in their lobbies and corridors to LED fixtures. This project scope could extend to replacing all exterior lighting with LED fixtures.



DAMAGED CEILING TILES



WATER-STAINED CEILING TILES



FINISHES PULLING AWAY FROM WALLS



WIRES PROTRUDING FROM CEILING TILES

Intermediate Middle – Existing Facility Assessment

Building General Classroom Evaluation

The building's general classrooms did not have any major deficiencies observed. Overall, the classrooms adequately serve the district in terms of space, layout, and function.

General Classrooms:

- District has indicated that general classrooms still adequately serve the school in terms of space, layout, and function. Existing furniture and technical equipment are in good condition and allow for flexible and modern teaching.
- There are enough classrooms to serve the current enrollment and room to grow in the case of an enrollment increase.

Special Education Classrooms:

- The special education rooms are in good condition as well. All instructors have their own classroom.
- Dedicated sensory or breakout rooms are already in place. No issues with current layout and function. Building currently has extra space that would allow further expansion if needed.

Science Classrooms:

- Grades 5 and 6 do not have dedicated science classrooms. The district has indicated that dedicated rooms are not needed for their current curriculum.
- All dedicated science classrooms are in good condition and properly serve the district in terms of function and layout.



TYPICAL SCIENCE CLASSROOM LAYOUT



TYPICAL GENERAL CLASSROOM



TYPICAL SCIENCE CASEWORK

Intermediate Middle – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building's specialty classrooms did not have any major deficiencies observed. Overall, the classrooms adequately serve the district in terms of space, layout, and function.

Computer Classroom:

- The district is operating at a 1 to 1 ratio of students to laptops. The existing computer classroom still functions for the district and is in good condition.

Music Rooms (Band/ Choral):

- The existing band room storage and acoustics are all sufficient.
- Finishes are in good condition.
- The existing finishes and casework in the band room are in good condition. Sink is not ADA accessible.
 - *Recommendation: Update sink for correct ADA mounting height and approach. Updates can occur with complete casework replacement in the future.*
- The existing choral room is in good condition. Storage, acoustics, and location to the auditorium function well for the district.

Library:

- The district's curriculum still heavily focuses on physical books and literacy challenges for students. The current shelving layout is functional and should remain as is.
- Existing furniture is in good condition and allow for flexible spaces within the library.
- Technical equipment is in good condition.



EXISTING WALL AND CEILING ACOUSTIC TREATMENT



NON-COMPLIANT ADA SINK



EXISTING LIBRARY LAYOUT

Intermediate Middle – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building's specialty classrooms did not have any major deficiencies observed. Overall, the classrooms adequately serve the district in terms of space, layout, and function.

Auditorium/ LGI:

- Seating and finishes appear to be in good condition. The stage floor is in good condition.
 - ***Recommendation:*** *Routine maintenance of space*
- Lighting and sound system has been upgraded within the year. House lighting has been upgraded to LED; stage lighting remains incandescent.
 - ***Recommendation:*** *Upgrade stage lighting once it reaches the end of its useful life. Upgrade to LED fixtures during this replacement.*
- District has noted that there are no clocks in the auditorium and no ability to hear announcements as well.
 - ***Recommendation:*** *Investigate the age of the clock and PA system. If both are at the end of their useful life, the District should consider replacing both systems and extending range to the auditorium under one project.*

Art Room:

- There are 2 art rooms in the building; one on the first floor and one on the second. Both spaces are in good condition in terms of aesthetics.
- Only the first-floor art room is used. Currently, 2D and 3D art techniques are performed in the same space.
 - ***Recommendation:*** *This is not a necessity for the current function of the intermediate middle school. This is a recommendation that the district could decide to pursue later if necessary. The district could separate 2D art and 3D art into their own rooms. This separation could allow for more storage, student workstations, and additional pottery wheels.*



LGI WALL PARTITION LOCATION



EXISTING WALL AND CEILING
ACOUSTIC TREATMENT

Intermediate Middle – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building's specialty classrooms did not have any major deficiencies observed. Overall, the classrooms adequately serve the district in terms of space, layout, and function.

Family Consumer Science:

- Finishes and appliances are in good condition. Workstations still function well for the district.
- One kitchen should be ADA accessible. The microwave should be counter mounted with correct reach ranges for accessories like a paper towel holder. The casework at the sink should be modified for a pull under or side approach.
 - ***Recommendation:*** *The existing layout can remain as is until large scale work is done to the space. Small fixes like moving the microwave could be done by the district on their own time.*

Wood Shop/ CAD Rm:

- The district has no concerns regarding technical equipment, data, or power in the CAD room. The equipment in the wood shop is regularly upgraded and well maintained.
- There is an existing dust collection system that does work properly during school hours.
- Finishes appear to be in good condition.
 - ***Recommendation:*** *Routine cleaning and repairs, as necessary.*
- Water staining recorded at some ceiling tiles.
 - ***Recommendation:*** *Inspection to determine the cause of water leaking should be performed and the issues corrected. Yearly inspection of ceiling and mechanical systems should be performed, and repairs done, as necessary. Replacement of ceiling tiles should be done, as necessary.*



FCS KITCHEN LAYOUT



FCS KITCHEN LAYOUT



CAD ROOM



WOOD SHOP EQUIPMENT

Intermediate Middle – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building's specialty classrooms did not have any major deficiencies observed. Overall, the spaces serve the district in terms of space, layout, and function. Some items were identified to be areas of future upgrades for the district.

Cafeteria:

- Current size adequately serves the number of students.
- Finishes are in good condition and should continue to serve the district for another 10 – 15 years.

Gymnasium:

- Overall, the existing gym is in good condition. Finishes, like the floor and wall treatments, have been redone recently. The sound system, lighting, and other technical equipment are in good condition. No reported issues from the district.

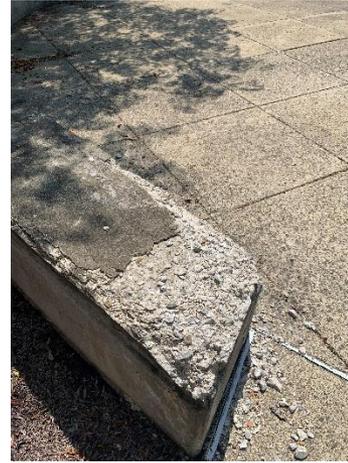
Intermediate Middle – Existing Facility Assessment

Site Evaluation

The building site did not have any major cosmetic deficiencies observed. Items identified relate to concrete and asphalt conditions.

Items of note include:

- Cracking was observed in the asphalt and concrete near the entrance.
 - Recommendation: *Repair broken concrete and asphalt as necessary.*



DETERIORATING CONCRETE AT
ENTRANCE



CRACKED ASPHALT IN PARKING
LOT

Intermediate Middle – Existing Facility Assessment

Food Service Equipment Evaluation

The kitchen facilities are TBD.

Items of note include:

- TBD

Intermediate Middle – Existing Facility Assessment

Building System Evaluation

The HVAC, Plumbing, and Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed below.

HVAC Items of note include:

- The life expectancy of the boiler is approximately 20-25 years so there is still expected life remaining in the boiler. Condensing boilers provide a high efficiency. Though the boilers are only 17 years old, they have been problematic for the maintenance staff.
- The heating system is a hot water distribution system. It was noted that leaks are forming at dielectric unions.
- As mentioned under terminal units, the classroom spaces are served by roof top air conditioning/heating units. Though these units are only 17 years old, units on the roof that do air conditioning have a life expectancy of 15-20 years and these units are in that life expectancy timeframe.
- Exhaust systems in toilet rooms consist of wall mounted grills ducted exhaust to roof mounted exhaust fans. Most of these were installed in the 1993 renovations. It was reported that some of the fans are not operational and should be replaced.

Plumbing Items of note include:

- The building Plumbing Systems were all installed in the 2006 construction project.
- The stormwater piping is cast iron, believed to be building original and has been noted to have some leaks.
- The floor drains throughout the building have no trap primers or trap guards. This can be an issue if the water in the drain evaporates and sewer gas is allowed through.
- There are three sump pumps. Two of those are for the stormwater and one at the base on the elevator shaft. These were installed in the 2006 building construction and are in good condition.

- Shower rooms have wall mounted stainless steel shrouds with multiple control valves and shower heads on each. These appear to be in good condition but do not meet ADA handicapped requirements.

Electrical Items of note include:

- The building is fully protected with a fire protection sprinkler system.
- Panelboards were installed in the 2006 construction. They are manufactured by Square D. The panelboards throughout the building are in good condition and the circuit breakers are well under the age of what manufactures deem the reliability of circuit breakers which is 25 years.
- Lighting fixtures in classrooms are fluorescent with three T-8 34 watt lamps and parabolic lenses. The lamps are operated on A/B switching with the inner lamp on one switch and the outer lamps on a separate switch. Occupancy sensors, to turn the lights off when there is no occupancy, are now required by code but were not at the time the original fixtures were installed.

Intermediate Middle – Existing Facility Assessment

Building System Recommendations

The HVAC, Plumbing, Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed in the previous page for reference.

HVAC recommendations include:

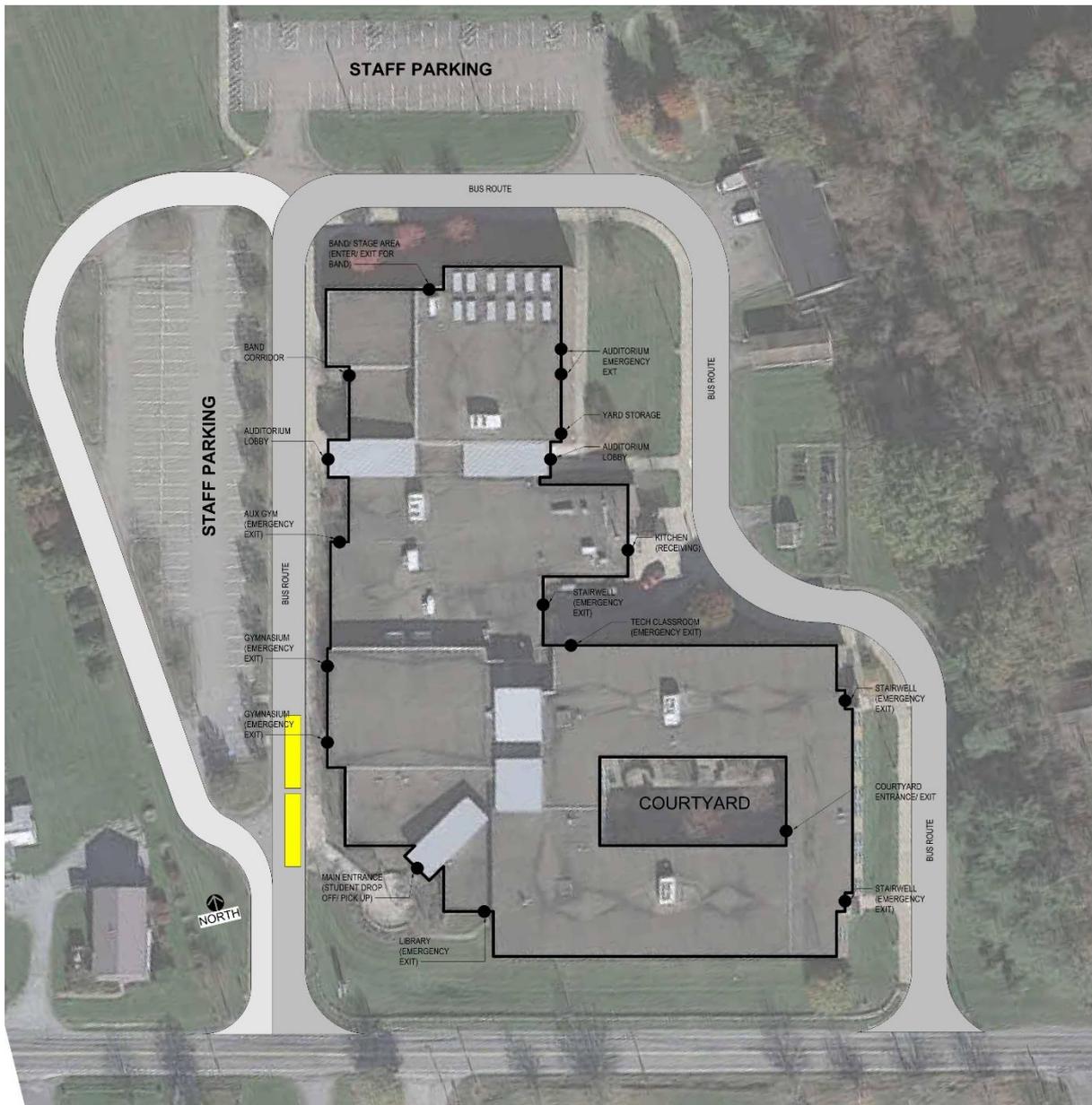
- Replace boilers
- Replace packaged roof top units.

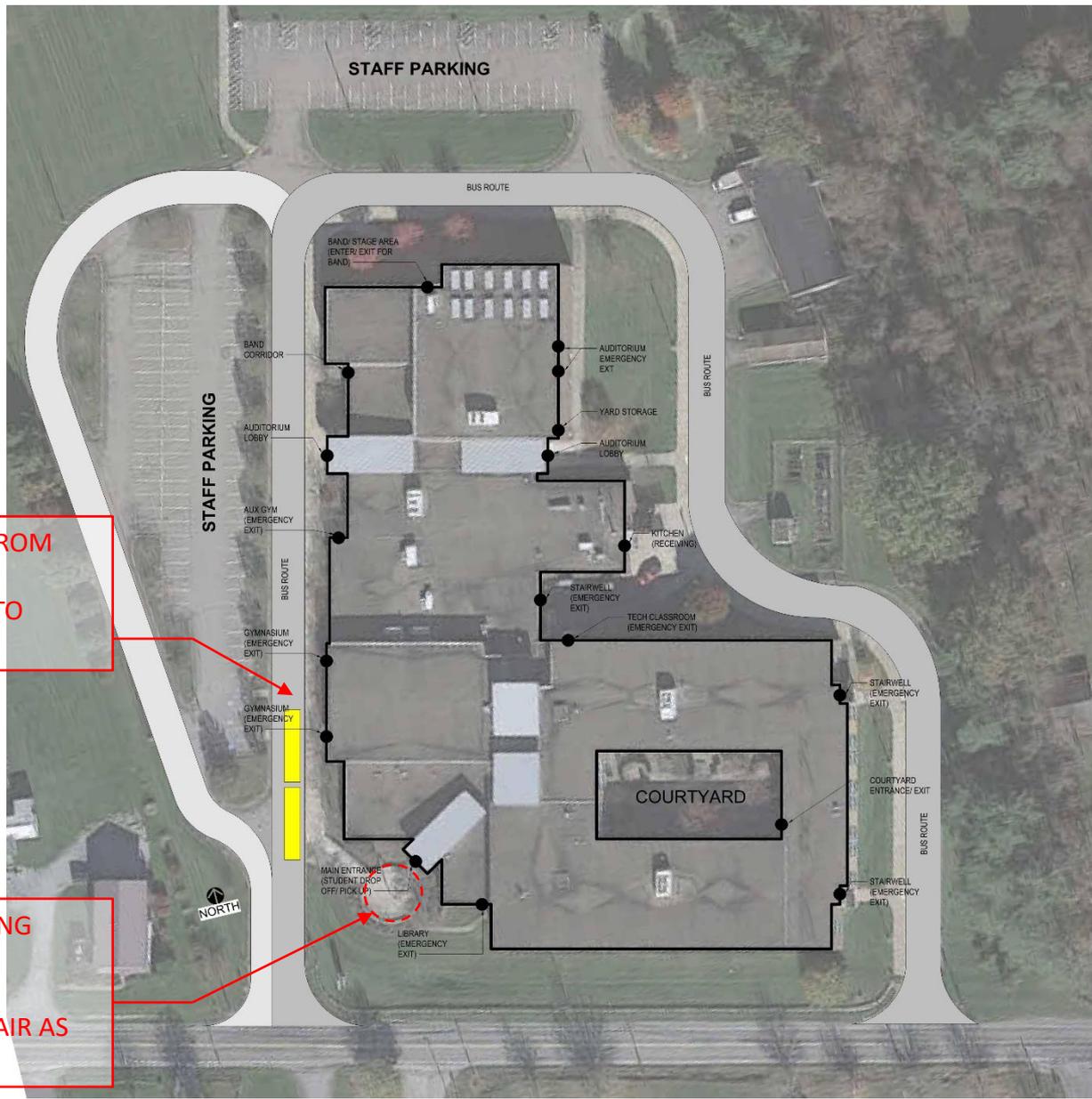
Electrical recommendations include:

- Replace the main fire alarm panel.
- Replace metal halide fixture at building entrances that are currently not well lit.
- Replace the existing lighting throughout the building with LED lighting and low voltage controls including occupancy sensors.

Plumbing recommendations include:

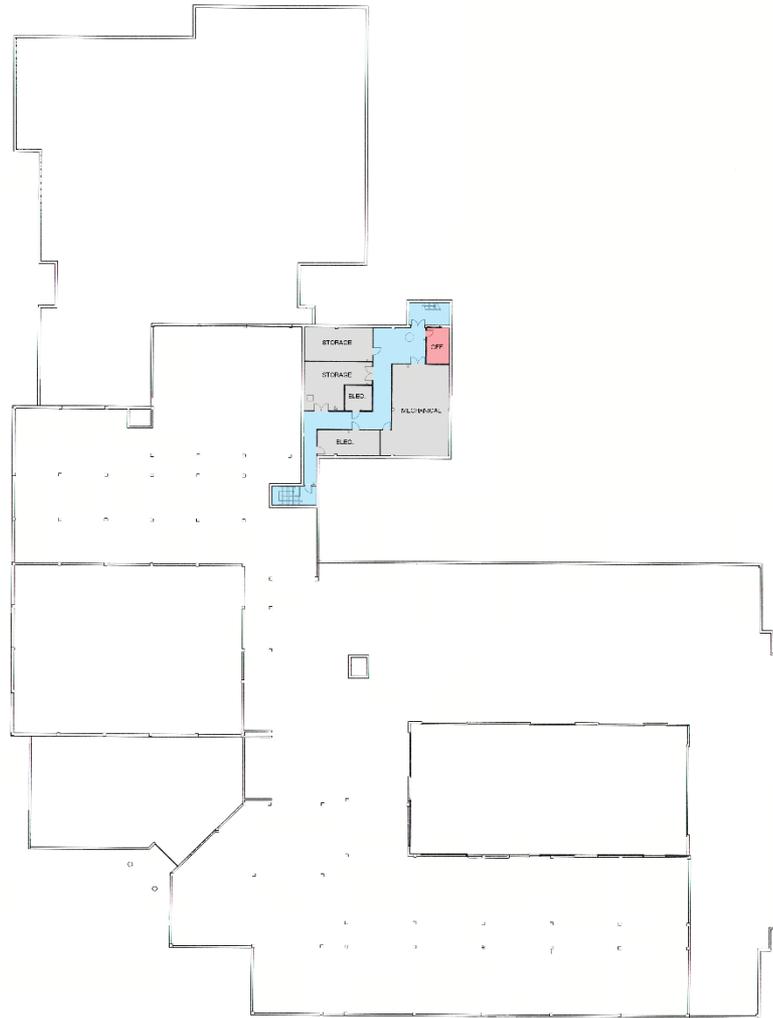
- Replace non-ADA compliant shower controls



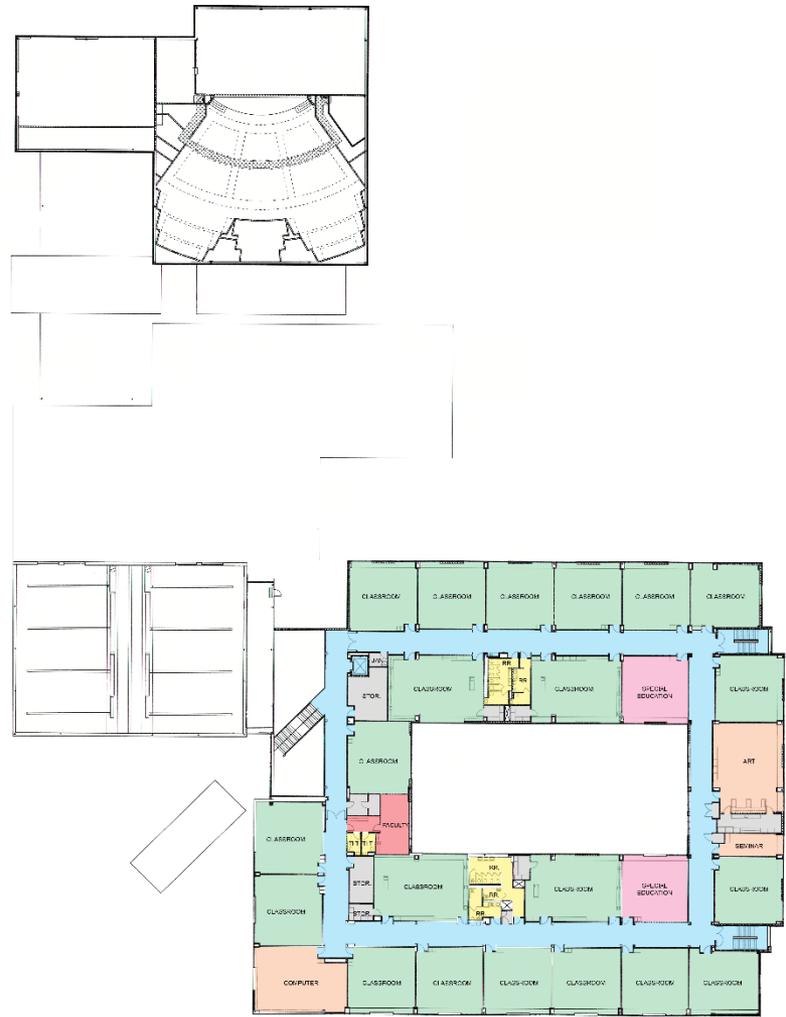


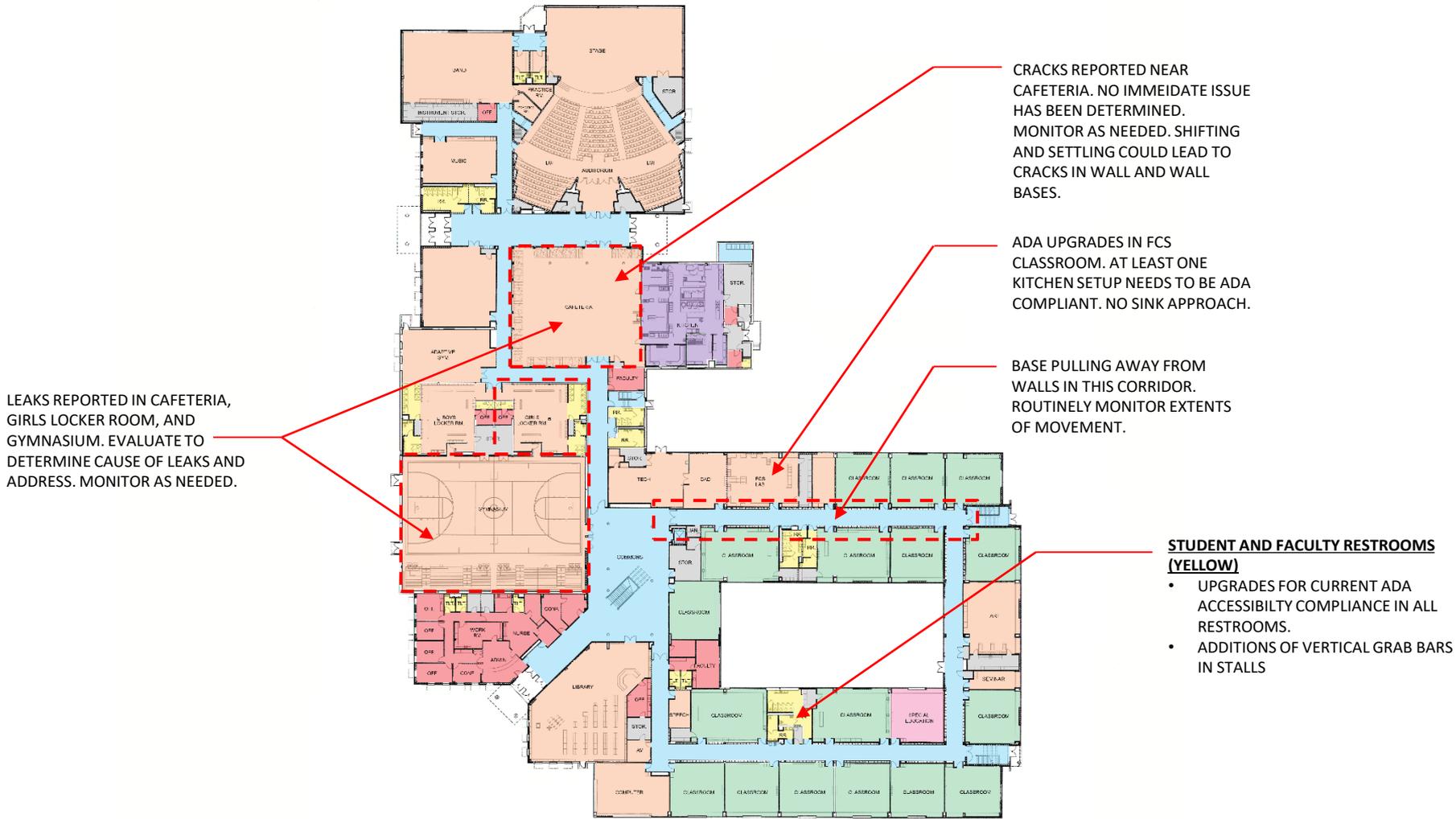
ADA ACCESS ROUTE FROM DESIGNATED PARKING SHOULD BE PAINTED TO NEAREST CURB CUT.

CRACKING AND MISSING CONCRETE AT MAIN ENTRANCE. ROUTINE INSPECTION AND REPAIR AS NECESSARY.









Yough Senior High School was first constructed in 1965, roughly 58 years ago. The high school along with all three elementary schools were renovated during the 1993 - 1994 district wide upgrades. Today, YHS' current enrollment does not exceed its FTE capacity.

YHS is an aging building but remains in good condition. The building is primarily of masonry construction and is structurally sound. Our review of the facility identified several deferred maintenance items that should be considered as part of the district's ongoing capital improvement plans. Recent changes in school safety/ security standards should be considered as part of any improvement project at YHS.



Date of Original Construction	1965	Last Renovations/ Additions	1993 - 1994
Grades	9 th thru 12 th		
Stories	2 Stories		
Occupancy Type	Educational		
Construction Type	Non-combustible		
Architectural Area	155,419 SF	Site Area	x acres
PDE FTE Capacity	875		
Current Enrollment	574		
Municipality	Sewickley Township		
Condition	Good/ Fair		

Yough High School
 915 Lower Road
 Herminie, PA 15637

Yough HS – Existing Facility Assessment

ADA Accessibility Evaluation

ADA compliance was reviewed during the building survey. Elements include the site, interior, and building systems. Issues observed primarily relate to the existing site, egress paths, and restrooms.

Items of note include:

- The parking lot has ADA spots clearly marked with paint and signage. From these spots, an accessible route must be provided to the nearest curb cut. This must be distinguished through blue paint on the pavement.
 - **Recommendation:** *Paint ADA travel path and mark ADA accessible spot in correct locations. This can be grouped with a future complete lot repainting project.*
- All student restrooms, faculty toilets, and nurse's toilet need a vertical grab bar to meet current ADA code.
 - **Recommendation:** *Install vertical grab bars to meet current codes in all restrooms and faculty toilets.*
- Check mounting height requirements for bathroom accessories such as paper towel dispensers and wall mounted trash disposals.
- There is exposed plumbing in the restrooms. Pipe covers are required for current ADA code.
 - **Recommendation:** *Install pipe covers where missing.*
- ADA tactile signs must be placed at the entrance of all classrooms, restrooms, and common space.
 - **Recommendation:** *Install tactile signage where missing.*
- All classroom sinks are required to have an ADA approach. Side approach is allowed but front approach is preferred.
 - **Recommendation:** *If casework is replaced in this future, it should be considered to modify the casework to provide the pull under approach to the sink.*
- Current stair guardrails appear to not be compliant with the current building code. Guardrails need to be a minimum 42" tall with correct spacing from the bottom of rail to stair. Incorrect spacing is a trip and entrapment hazard.
 - **Recommendation:** *Replace all stair guardrails to current building code standards.*

- Cafeteria must provide at least 5% accessible seating.
 - **Recommendation:** *delineate appropriate number of table/booths as ADA accessible and provide necessary spacing and approach requirements.*



ADA TRAVEL PATH REQUIRED



NO GRAB BARS IN RESTROOM



SIGNAGE REQUIRED FOR EXIT DOORS



NON-COMPLIANT GUARDRAILS



ACCESSIBLE SEATING REQUIRED



MISSING VERTICAL GRAB BAR

Yough HS – Existing Facility Assessment

Safety & Security Evaluation

In addition to our review, the evaluations include feedback from the district.

Items of note include:

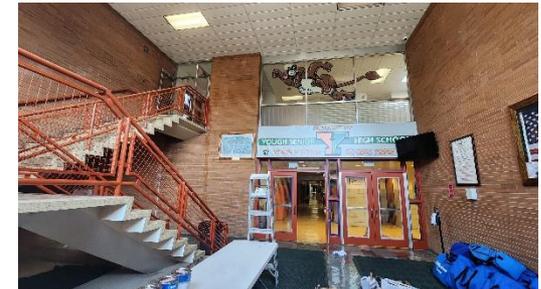
- It was noted that many of the doors to the stairwells and classrooms were propped open (typically with a wooden floor stop). Stairwell doors create fire and smoke separation between floors during a fire event.
 - **Recommendation:** *Doors either need to remain closed or have new hardware installed to automatically close doors during an emergency.*
- Tactile exit signs and panic hardware necessary at all emergency exits.
 - **Recommendation:** *Install tactile exit signs where missing.*
- The pole light at entrance from Lowber Road (administration side) does not work. Hard to see pedestrians at that location at early morning hours and at night.
 - **Recommendation:** *Replace light as required and routine maintenance to exterior lighting, as necessary.*
- There is a controlled entrance in place for the district office and administration suite. Student entrance is only used during drop off and pick up. Doors are locked at all other times.
 - **Recommendation:** *none*
- All door side lights have been upgraded with a 3M impact film.
 - **Recommendation:** *none*



ADMINISTRATION CONTROLLED ENTRANCE



CLASSROOM DOOR SIDE LIGHT



STUDENT VESTIBULE

Yough HS – Existing Facility Assessment

Building Exterior Evaluation

The building exterior is generally in good condition with mainly minor issues identified. No areas on the exterior indicated any structural or integrity issues of immediate concern.

Items of note include:

- There is mildew build up on rear exterior of school.
 - Recommendation: Routine inspections necessary to check for water infiltration. Clean as necessary.
- Windows appear to be at the end of their useful life. Many screens are missing or broken, and most blinds are inoperable.
 - Recommendation: Replace as necessary, however, if most windows building wide have issues it should be discussed to do a full system replacement.
- Additional Exterior site lighting requested by district.
 - Recommendation: Consider exterior lighting upgrades.

Roof Evaluation

The modified bitumen roof is in good overall condition. It was replaced in 2018 and is at the beginning of its useful life.

Items of note include:

- Leaking was noted at the gym lobby.
 - Recommendation: Investigation and repairs covered by warranty. Repair made at roof and gymnasium skylight. No leaking currently present. Continue to monitor.
- From a second-floor window, it was observed that leaves collect at some points on the roof.
 - Recommendation: Routine maintenance and cleaning is necessary.



MISSING OR BROKEN WINDOW SCREENS



LEAVES COLLECTED ON ROOF

Yough HS – Existing Facility Assessment

Building Interior Evaluation

The interior is generally in good/ fair condition. Water infiltration is common in multiple spaces throughout the building near HVAC systems. Interior finishes are showing signs of age but not of immediate concern.

Items of note include:

- Student lockers and gym lockers are worn and show signs of heavy use.

Lockers will be replaced in the summer of 2024.

- Recommendation: none
- Crack present in masonry wall of boy's locker room.
 - Recommendation: Patch and fill as required. If problem worsens, evaluation is necessary to stop possible shifting before becoming a larger issue.
- Cracked and uneven flooring present in classroom 118.
 - Recommendation: The floor crack is not a structural concern but could be addressed to remove a tripping hazard. The floor tile should be removed in the problem areas and the concrete ground to create a flush/level condition. The crack should be treated with a crack suppression membrane and then the flooring replaced. The area should be monitored for future cracking/movement. If further exploration is desired, core borings could be taken to determine the under-slab condition so that more extensive repairs could be evaluated.
- Sporadic water staining at the ceiling systems was present in the classroom spaces and typically adjacent to ceiling mounted mechanical units. Condensation problems persistent at HVAC systems and associated duct/ pipe work. When found, pipe is insulated.
 - Recommendation: Replace ceiling tiles, as necessary. Routine monitoring of HVAC systems. Determine the cause of the water leaking and address. Continue to insulate, as necessary.
- Interior wall and floor finishes appear worn and at time missing. Stair

treads/ risers and landing have been replaced with rubber.

- Recommendation: Replace and repair, as necessary. Routine cleaning and maintenance is required.
- Existing classroom casework are in various conditions and should be considered for replacement.
- Gymnasium bleachers are at the end of their useful life and in need of replacement.
 - Recommendation: Consider bleacher replacement.
- It was reported that some phones are not working properly.
 - Recommendation: check age of phone systems. Replace phones as necessary; an entire phone system upgrade could be required.
- District has reported that the nurse's suite does not function well. Nurse's desk/ office and triage space are currently in one open room.
 - Recommendation: Evaluate existing conditions. Could a smaller scale renovation occur to create a separate office within the existing walls? If not, a full nurse's suite renovation is recommended. A new layout would be designed to accommodate the district's requests.



CRACK IN CLASSROOM FLOOR



STUDENT LOCKERS

Yough HS – Existing Facility Assessment

Building General Classroom Evaluation

The building's general classrooms did not have any major deficiencies observed. Overall, the classrooms adequately serve the district in terms of space, layout, and function. Some items were identified to be areas of future upgrades for the district.

General Classrooms:

- District has indicated that general classrooms still adequately serve the school in terms of space, layout, and function. Existing furniture and technical equipment are in good condition and allow for flexible and modern teaching.
- No further notes or recommendations.

Special Education Classrooms:

- The special education rooms are in good condition as well. All instructors have their own classroom.
- Dedicated sensory or breakout rooms are already in place. No issues with current layout and function. District has indicated that another behavioral remediation room is underway through grants. Building currently has extra space that would allow further expansion if needed.
- Life skills instructors have voiced interest in more hands-on learning: cooking, cleaning, and laundry. The life skills classroom adjoin the FCS classroom.
 - *Recommendation:* District should look at class schedules to allow for the life skills students to use the existing kitchens in the FCS classroom. Additions of portable folding tables and other accessories could temporarily transform the Life Skills space for instructional use.

Science Classrooms:

- All science classrooms are showing signs of age and could benefit from infrastructure, casework, and finish upgrades.
- Existing layouts utilize a half lab/ half standard classroom setup. District has voiced a need for a more flexible learning space, especially in the physics room.
 - *Recommendation:* A renovation of all science classrooms could be grouped together. This project could include replacing casework for appropriate storage and fixtures, while providing flexible furniture for a new standard layout.



TYPICAL CLASSROOM LAYOUT



LIFE SKILLS ROOM

Yough HS – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building's specialty classrooms did not have many major deficiencies observed. Overall, the classrooms serve the district in terms of space, layout, and function. Some items were identified to be areas of future upgrades for the district.

Computer Classroom:

- District is operating at a one-to-one ratio of students to laptops. Despite this, the existing computer lab still functions for the district. It was updated 8-9 years ago and can serve 24 students at a time.
- There is another updated computer lab that is not used. District has expressed interest in transforming the space into an E-sports room.
 - *Recommendation: Provide adequate equipment for an E-sports learning environment. A full room renovation to include finishes could follow infrastructure improvements.*

Music Rooms (Band/ Choral):

- No notes for existing choral room.
- Instrument storage for the band room is sufficient for current use. However, District has noted that general storage is lacking. Practice rooms are not used for their intended purpose and serve as storage.
- District has also voiced concern over the inability to properly supervise students in these subsidiary rooms.
 - *Recommendation: Renovations could be made to the existing layout to provide visual connections between the main band space and these rooms. If practice rooms are no longer utilized, a full band suite renovation is warranted. In this renovation, casework and other storage upgrades can be addressed with new layout options.*



EXISTING BAND ROOM



EXISTING CHORAL ROOM

Yough HS – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building's specialty classrooms did not have many major deficiencies observed. Overall, the classrooms serve the district in terms of space, layout, and function. Some items were identified to be areas of future upgrades for the district.

Library:

- Water staining recorded in ceiling tiles near ceiling hung HVAC units.
 - *Recommendation: Replace ceiling tiles, as necessary. Routine monitoring of HVAC systems. Determine the cause of the water leaking and address. Continue to insulate, as necessary.*
- District has noted that students do use the library, more specifically its tables and existing furniture, during study hall hours. However, not many check out books currently. With its proximity to the school coffee shop, the district would like to see the space transform into a lounge or media center.
 - *Recommendation: Analyze the square footage of the library to determine what is feasible within the confines of its existing boundary. If more area is required, spatial planning is necessary to determine renovation scope. A project of this type could include flexible soft seating, breakout spaces for group collaboration, dedicated study rooms for 1-4 people and appropriate technical equipment, the consolidation of books, and the relocation of shelving for a more efficient layout. Modern finishes would follow as well.*



LIBRARY SHELVING



VISIBLE WATER INFILTRATION IN CEILING

Yough HS – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building's specialty classrooms did not have many major deficiencies observed. Overall, the classrooms serve the district in terms of space, layout, and function. Some items were identified to be areas of future upgrades for the district.

Auditorium:

- Walls were painted during the 2023 summer.
- Stage floor has been partially replaced and is in good condition. Stage is not ADA accessible, but district does own a lift.
- No reported issues with existing acoustic treatment.
- Existing seats are at the end of their life and consistently breaking.
 - ***Recommendation:*** Full seating replacement. If necessary, the district could replace worn finishes at this time.
- Stage and house lighting has been updated. No reports of any reoccurring issues.
- District has noted that the sound system is most likely beyond its useful life and is showing signs of age.
 - ***Recommendation:*** Replace sounds system. Could be in conjunction with the seating replacement as a full auditorium renovation.

LGI

- District has indicated that the LGI still adequately serves the school in terms of space, layout, and function. Existing equipment and finishes are in good condition.
- No further notes or recommendations.

Art Room:

- District has noted that its current room serves the school, but due to popularity, the art department could use a bigger space.
 - ***Recommendation:*** Discuss feasibility of expansion into adjoining rooms. If expansion is not possible, a new casework layout with appropriate storage could provide the district with a more suitable space. This would include new plumbing fixtures and workstations.



LGI LAYOUT AND WALL TREATMENT



EXISTING CASEWORK AND STORAGE



KILN HOOD AND SINKS



NON-ACCESSIBLE SINKS

Yough HS – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building's specialty classrooms did not have many major deficiencies observed. Overall, the classrooms serve the district in terms of space, layout, and function. Some items were identified to be areas of future upgrades for the district.

Family Consumer Science:

- There are 5 existing kitchen stations. The district is consistent with maintenance and the kitchens are in good condition. No reports of issues from the district.
- One kitchen should be ADA accessible. The microwave should be counter mounted with correct reach ranges for accessories like a paper towel holder. The casework at the sink should be modified for a pull under or side approach.
 - ***Recommendation:*** *The existing layout can remain as is until large scale work is done to the space. Small fixes like moving the microwave could be done by the district on their own time.*

Wood Shop/ CAD:

- The wood shop and adjoining CAD room are in good condition.
- Some missing ceiling tiles were noted in the CAD space, specifically the 3D printing area shown.
 - ***Recommendation:*** *Replace missing or damaged ceiling tiles throughout as required.*
- Ventilation and dust collection work properly and no issues have been reported.
- Storage in both spaces is sufficient.
- Wood shop equipment has been updated over the years and the district continues with routine maintenance.



EXISTING CAD WORKROOM



CAD COMPUTER LAYOUT



3D PRINTING STATIONS



WOOD SHOP LAYOUT

Yough HS – Existing Facility Assessment

Building Specialty Classroom Evaluation

The building's specialty classrooms did not have many major deficiencies observed. Overall, the classrooms serve the district in terms of space, layout, and function. Some items were identified to be areas of future upgrades for the district.

Cafeteria:

- Current size adequately serves the number of students.
- District has expressed the interest in a renovation to address modern finishes and some technical items.
 - *Recommendation: Discuss feasibility and priority of a renovation to the cafeteria space. A renovation could include new wall treatment, modern floors, updated booths and table layouts. New statement lighting and power drops at perimeter booths can also be explored.*

Gymnasium:

- Overall, the existing gym is in good condition. Finishes, like the floor and wall treatments, have been redone recently. The sound system, lighting, and other technical equipment are in good condition. No reported issues from the district.
- Scoreboard is 7 years old, and no issues have been reported by the district.
- District has noted that the bleachers are at the end of their useful life.
 - *Recommendation: Replace entire bleacher system with a motorized, telescopic product.*
- There is no existing acoustic wall or ceiling treatment.
 - *Recommendation: No issues with sound have been reported by the district. However, it is our recommendation to apply acoustic wall treatment to at least 30% of your available wall surface.*
- District has expressed interest in an auxiliary gym addition for secondary gym classes like yoga, stretching, wrestling, and other court sports. Draw will explore possible locations for an appropriately sized gym.



MAIN CAFETERIA TABLE AND BOOTH LAYOUT



SENIOR ROOM - CAFETERIA



OVERALL GYMNASIUM



EXISTING BLEACHER SYSTEM

Yough HS – Existing Facility Assessment

Site Evaluation

The building site did not have any major cosmetic deficiencies observed. Items identified relate to concrete/ asphalt conditions and landscaping.

Items of note include:

- Student lot recently repainted with lines and spot numbers. Faculty lot pictured to the right has been painted with new linework.
 - **Recommendation:** *routine maintenance as necessary and repaint lines as required.*
- Cracks and holes present in lot paving and exterior driveways.
 - **Recommendation:** *Have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future.*
- Crack and holes present in concrete sidewalks and curbs.
- Concrete parking barriers are broken or knocked of their designated spot.
 - **Recommendation:** *Routine maintenance for unwanted vegetation. Repair and repave broken and cracked concrete/ asphalt, as necessary. Full repaving project possible.*
- Courtyard needs upgrades. Districts has suggested the removal of planters and something other than grass. Concrete or turf has been discussed.
 - **Recommendation:** *Review courtyard for current use. Does the district want to utilize this space for something else? Should students be able to use this space? These questions will dictate new planting and exterior materials.*
 - **Recommendation:** *Routine maintenance as necessary*
- Exterior landscape is overgrown. Tree branches are beginning to touch the school and windows.
 - **Recommendation:** *Cut back tree branches near school and routine maintenance as required.*



FACULTY LOT



MAINTENANCE OF VEGETATION AND MULCH



MAINTENANCE OF VEGETATION AND MULCH

Yough HS – Existing Facility Assessment

Food Service Equipment Evaluation

The kitchen facilities are TBD.

Items of note include:

- TBD



Yough HS – Existing Facility Assessment

Building System Evaluation

The HVAC, Plumbing, and Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed below.

HVAC items of note include:

- The boilers in the building are natural gas fired hot water boiler. The units were installed in 2019 and are in good condition. The life expectancy of the boiler is approximately 20-25 years so there is plenty of life remaining in the boiler.
- The heating system is a hot water distribution system. The pumps were replaced in 2019 when the boilers were installed and are duty/standby. There are B&G flow monitors in the system that leak.
- The classrooms are served with unit ventilators manufactured by Snyder General. Most of the unit vents were installed in 1993. This makes the units 30 years old and right at the end of their expected life of 25-30 years. Units that were not replaced in 1993 are significantly past their expected life. A few of the classroom units include direct expansion (DX) cooling. Condensing units for those are located on the roof and would be well past their life expectancy of 15-20 years.
- There are several air handling units were installed in the 1993 renovation project and are now 30 years old which is at their life expectancy.
- Exhaust systems in toilet rooms consist of wall mounted grills ducted exhaust to roof mounted exhaust fans. Most of these were installed in the 1993 renovations. It was reported that some of the fans are not operational and should be replaced. To meet the code, make-up air should come from the ceiling plenum space in the adjacent rooms.

Plumbing items to note include:

- The building Plumbing Systems were upgraded during the 1993

renovations project. The isolation valves are functional, but maintenance of the system has shown that additional isolation valves should be installed.

- It was noted that there has been an issue with toilet fixtures, primarily urinals, clogging due to calcium and solids build-up.
- The stormwater piping is cast iron, believed to be building original and has been noted to have some leaks.
- The roof was replaced in 2018 but the existing roof drains were not replaced at that time. There is no reported issue with the roof drains.
- The floor drains throughout the building have no trap primers or trap guards. This can be an issue if the water in the drain evaporates, and sewer gas is allowed through.
- Plumbing fixtures are in fair condition.
- There are no fire protection sprinklers in the building.

Electrical items to note include:

- The building is served from two pad mounted utility transformers. This switchboard is building original, installed in the 1965 construction of the building. The circuit breakers in this switchboard are well past that timeframe.
- The building has a Simplex fire alarm system which was installed in 2005. The strobes lights are located in corridors but there are none in restrooms and classrooms as required by the Americans with Disabilities Act Accessibility Guidelines (ADAAG).
- Classrooms a low number of receptacles. In addition, the receptacles are circuited together such that several rooms are on one circuit. This makes it difficult to add receptacles to existing circuits as it could overload them. Receptacles in Restrooms are not ground fault circuit interrupter type as required by code.

Yough HS – Existing Facility Assessment

Building System Recommendations

The HVAC, Plumbing, Electrical systems were reviewed by H.F. Lenz Engineering and have been detailed in the previous page for reference.

HVAC items of note include:

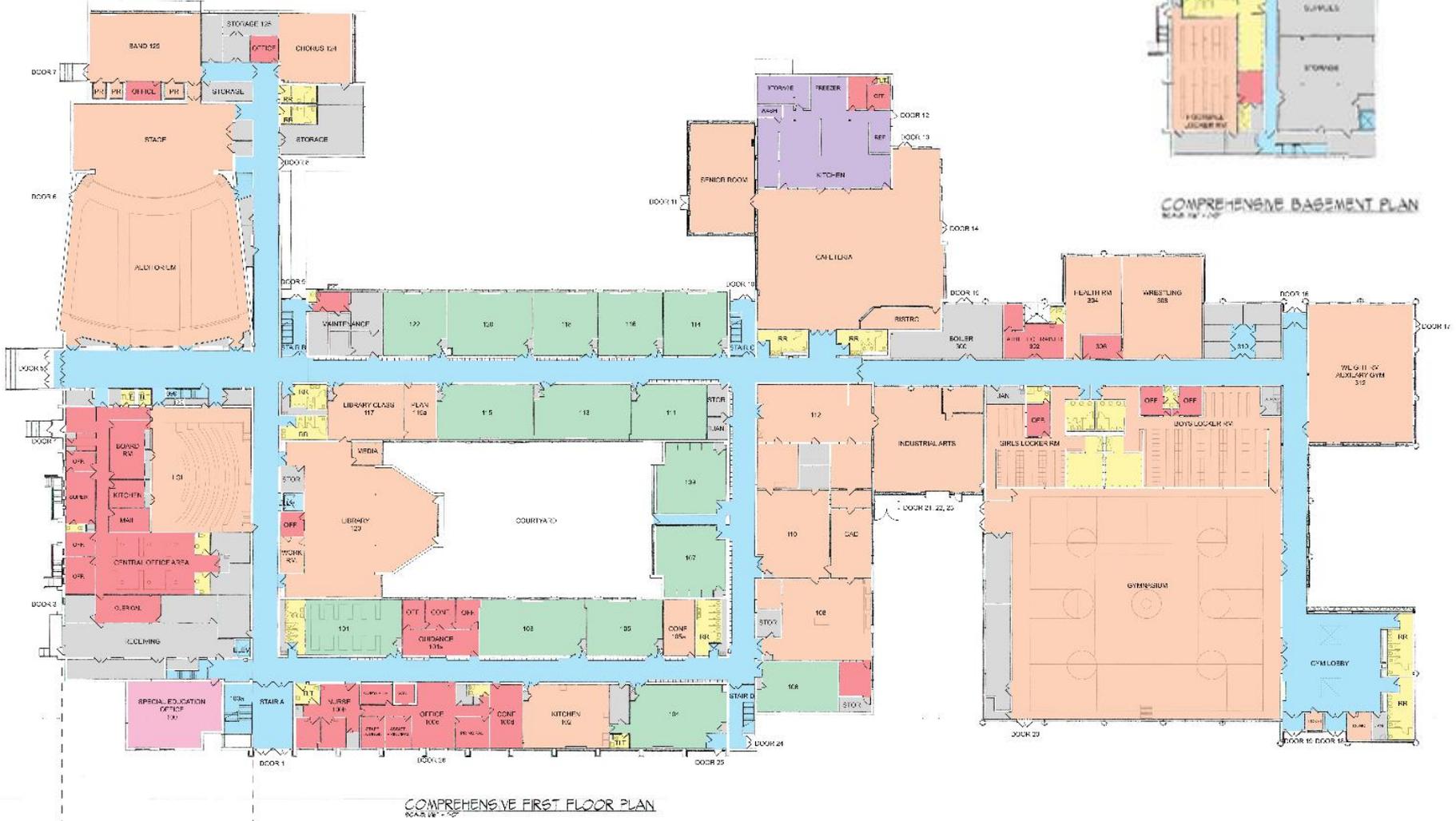
- Add variable frequency drives to the hot water pumps.
- Replace the unit ventilators due to age or install another type of HVAC system with better efficiency.
- Replace the condensing units (should this be accomplished; the associated unit ventilator would need replaced as it would not be compatible the refrigerant that a new condensing unit would use.)
- Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.
- Replace the outdated roof exhaust fans.
- Revise the make-up air for the toilet rooms so that it is not coming from the corridor.
- Replace B&G flow meters.
- Replace air handlers.

Plumbing items to note include:

- Install additional isolation valves in the hot and cold water systems.
- Review in greater detail the issues with the sanitary system and what is causing clogs and backups, and repair or replace that is need to correct that.
- Repair or replace the storm water piping where leaks have developed.
- Install trap seal guards in floor drains.

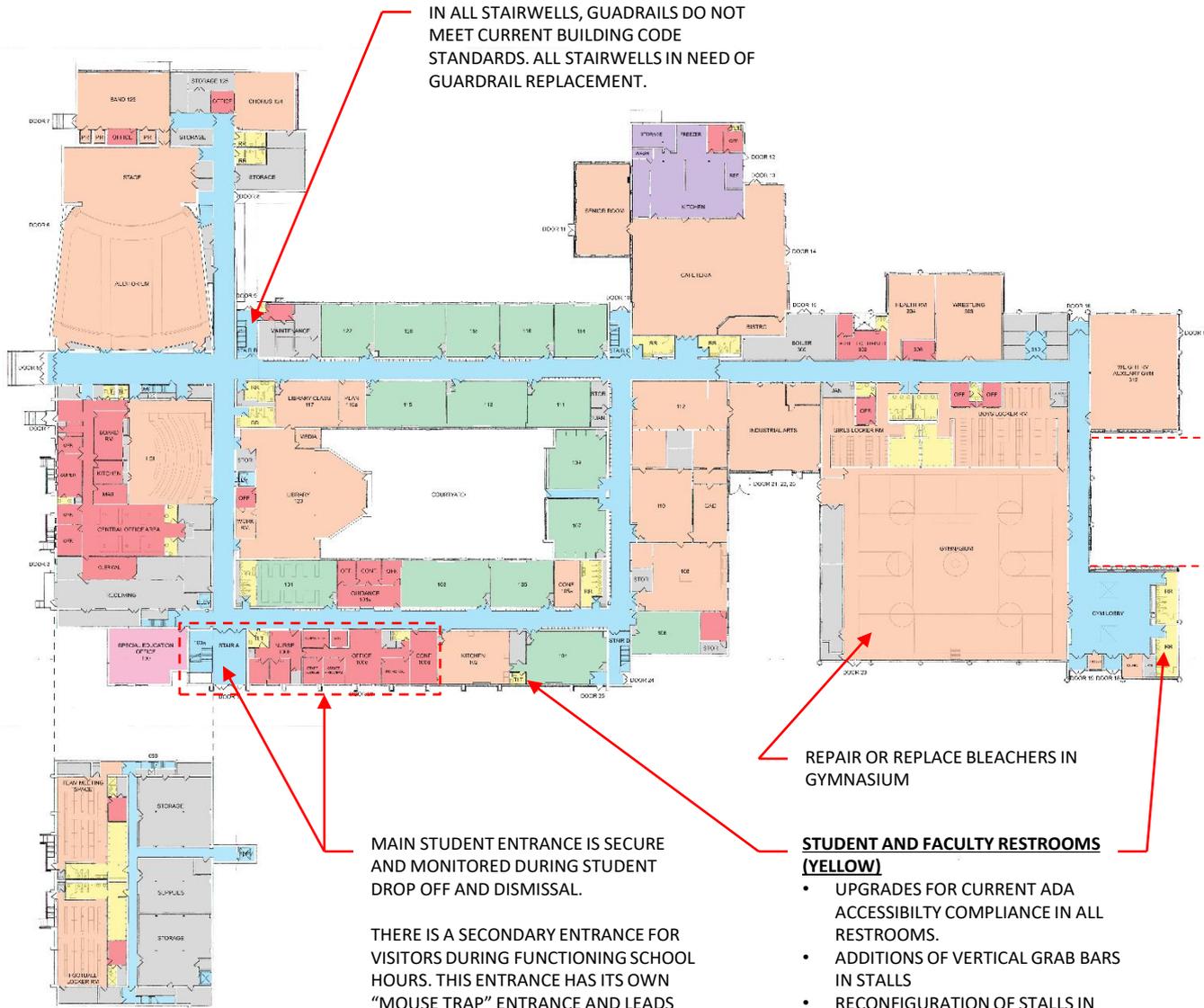
Electrical items to note include:

- Replace the existing switchboard
- Replace the panelboards throughout the building.
- Add a second transfer switch to meet code.
- Add fire alarm strobes in restrooms and classrooms to meet code (this will probably require the replacement of the main fire alarm panel.
- Replace the existing lighting throughout the building with LED lighting, low voltage controls and occupancy sensors
- Add ground fault circuit interrupter receptacles where required by today's code.





COMPREHENSIVE SECOND FLOOR
SCALE: 1/8" = 1'-0"



IN ALL STAIRWELLS, GUARDRAILS DO NOT MEET CURRENT BUILDING CODE STANDARDS. ALL STAIRWELLS IN NEED OF GUARDRAIL REPLACEMENT.

FUTURE AUXILIARY GYM ADDITION

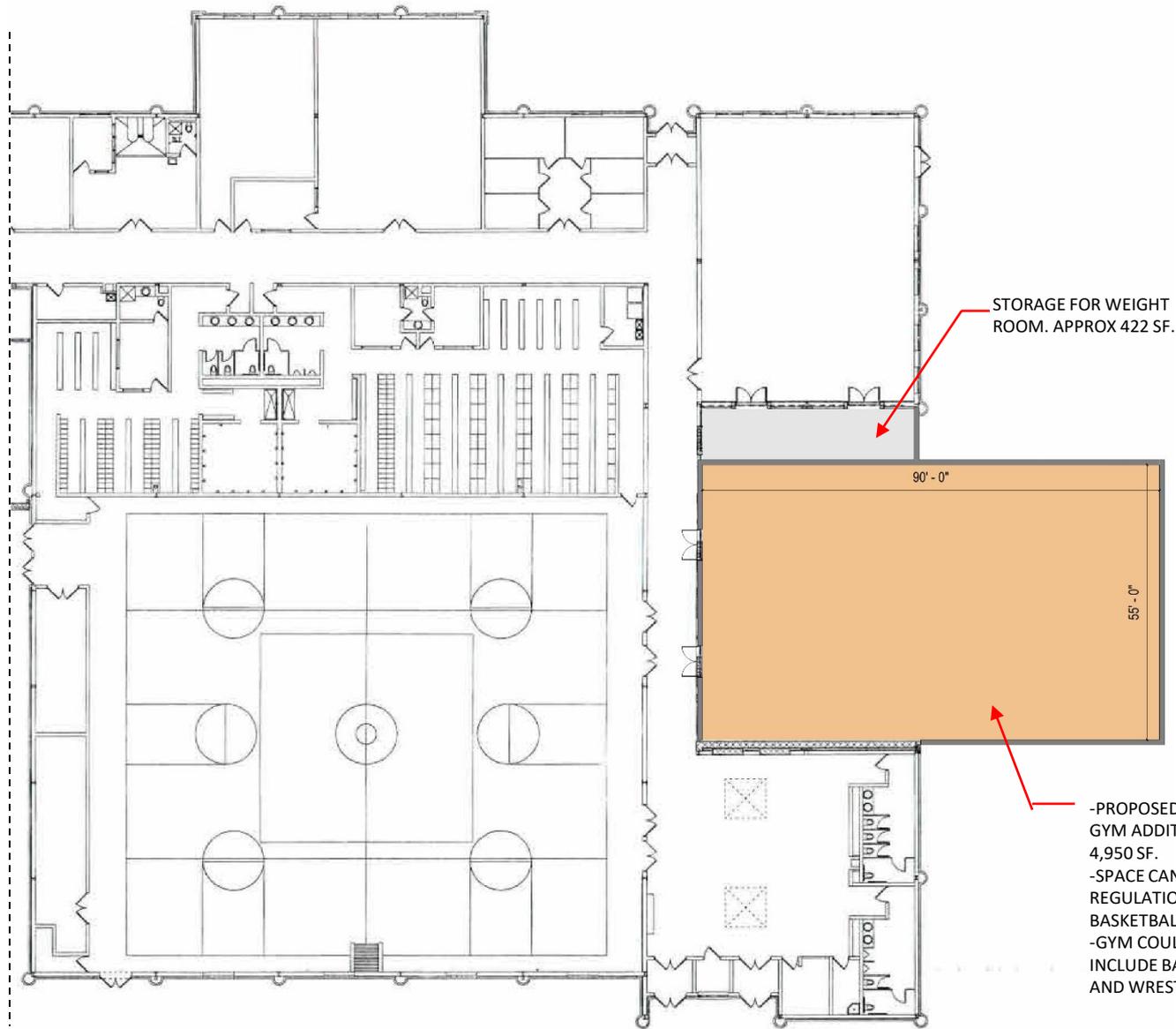
REPAIR OR REPLACE BLEACHERS IN GYMNASIUM

MAIN STUDENT ENTRANCE IS SECURE AND MONITORED DURING STUDENT DROP OFF AND DISMISSAL.

STUDENT AND FACULTY RESTROOMS (YELLOW)

- UPGRADES FOR CURRENT ADA ACCESSIBILITY COMPLIANCE IN ALL RESTROOMS.
- ADDITIONS OF VERTICAL GRAB BARS IN STALLS
- RECONFIGURATION OF STALLS IN STUDENT RESTROOMS FOR ADA COMPLIANCE.

THERE IS A SECONDARY ENTRANCE FOR VISITORS DURING FUNCTIONING SCHOOL HOURS. THIS ENTRANCE HAS ITS OWN "MOUSE TRAP" ENTRANCE AND LEADS DIRECTLY INTO THE ADMINISTRATION SUITE.



The Stadium Complex is made up of various structures and facilities, including the football field, press box, one grandstand, concessions and restroom facilities. The stadium is accessed from the High School with a designated ADA lot adjacent to the field.

The condition of the Stadium complex varies between the different facilities; however all structures are structurally sound. Our review of the over all facility identified several deferred maintenance items that should be considered as part of the district’s ongoing capital improvement plans.

Conditions described in this section have been identified with the relevant area of the stadium complex they belong to (General Work, Accessibility, and Track and Field.)



Date of Original Construction	x	Last Renovations/ Additions	x
Grades	9 th thru 12 th		
Stories	Varies		
Occupancy Type	Assembly		
Construction Type	Non-combustable		
Architectural Area	x sf	Site Area	x acres
PDE FTE Capacity	-		
Current Enrollment	-		
Municipality	Sewickley Township		
Condition	Good		

Stadium Complex
 915 Lower Road
 Herminie, PA 15637

Stadium Complex – Existing Facility Assessment

ADA Accessibility Evaluation

ADA compliance was reviewed during the stadium survey. Issues observed primarily relate to the existing site, egress paths, and restrooms.

Items of note include:

- The stadium ADA lot has clearly marked spots with paint and signage. Cracking present in lot.
 - **Recommendation:** *Repair cracks as necessary. Can group stadium ADA lot repaving and painting with high school lot repaving as one larger project.*
- All restrooms need a vertical grab bar to meet current ADA code.
 - **Recommendation:** *Install vertical grab bars in accessible stalls to meet current codes in both restrooms.*
- Check mounting height requirements for bathroom accessories such as paper towel dispensers and wall mounted trash disposals.
- ADA tactile signs must be placed at the entrance of all restrooms.
 - **Recommendation:** *Install tactile signage where missing.*
- There is an ADA accessible ramp for the bleachers, and it does meet today's code. Designated space for wheelchairs is located at the top of the ramp.
- Ticketing and concession windows should be evaluated for accessible reach ranges. Counter should be max 2'-10" to meet today's code.



DESIGNATED STADIUM ADA LOT



NO VERTICAL GRAB BARS



TICKETING WINDOW AND COUNTER



ADA ACCESSIBLE RAMP FOR BLEACHERS

Stadium Complex – Existing Facility Assessment

Safety & Security Evaluation

Safety and security issues have been reviewed during the stadium survey.

Items of note include:

- Fencing located around perimeter and entrance. One point of entrance for both home and visitor spectators.
 - Recommendation: none

Stadium Complex – Existing Facility Assessment

Facility Exterior Evaluation

The exterior of all stadium buildings were reviewed during the survey. Items include exterior finishes of the two concession buildings and the restroom facility.

Items of note include:

- The exterior of both concession buildings are in an overall good condition.
 - *Recommendation: Routine maintenance and cleaning as necessary.*
- Painted CMU exterior of restroom building in overall good condition.
 - *Recommendation: Routine maintenance and cleaning as necessary. Repaint CMU block and mortar joints when required.*



EXTERIOR OF TICKETING AND CONCESSION BUILDING



EXTERIOR OF BAND CONCESSION BUILDING



RESTROOM BUILDING PAINTED CMU

Stadium Complex – Existing Facility Assessment

Facility Interior Evaluation

The interior of all stadium buildings were reviewed during the survey. Items include interior finishes of the two concession buildings, restroom facility, and press box.

Items of note include:

- The interior of the restroom facility is in an overall good condition. Fixtures and partitions in restrooms are in good condition.
 - **Recommendation:** *Routine maintenance and cleaning as necessary.*
- Some cracks present on painted CMU interior wall of band concession building.
 - **Recommendation:** *Fill cracks and repaint CMU block and mortar joints when required.*
- The band concession building needs extra storage or reorganization. There were multiple instances of concession items stored on top of MEP equipment.



CRACK PRESENT IN BAND CONCESSION



TOILET PARTITIONS



BACK STORAGE AREA OF BAND CONCESSION. STORAGE OR REORGANIZATION NECESSARY

Stadium Complex – Existing Facility Assessment

Site Evaluation

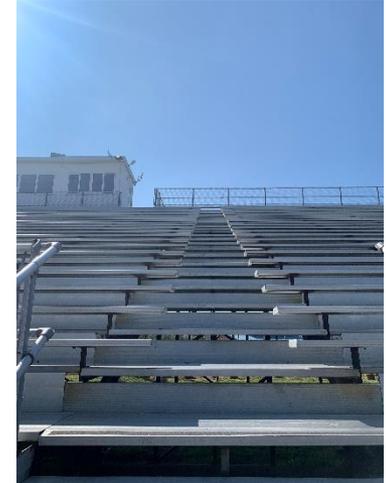
The stadium site did not have any major cosmetic deficiencies observed. Items identified relate to concrete/ asphalt conditions and landscaping.

Items of note include:

- Cracks and holes present in lot paving and driveways. District has given notice to the cracking and said most occurred from a heavy machine transported up driveway and into the parking/ plaza.
 - **Recommendation:** *Have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future with high school repaving.*
- Football turf and scoreboard have both been replaced within the last five years.
 - **Recommendation:** *Routine maintenance of turf as necessary. Repair stitching as required.*
- District mentioned interest in handrails at aisles of grandstand.
 - **Recommendation:** *Consult with engineer to determine the feasibility of installing handrails on existing grandstand.*
- Grandstand supports have been re-welded recently and are in good condition. The seats do not appear to show any rust or discoloration and are also in good condition.



VIEW OF EXISTING TURF AND GRANDSTAND



AISLE OF EXISTING GRANDSTAND



CRACKING PRESENT FROM HEAVY MACHINE USE. PRESENT THROUGHOUT SITE

Stadium Complex – Existing Facility Assessment

Food Service Equipment Evaluation

The food service equipment issues are TBD.

Items of note include:

- TBD

Stadium Complex – Existing Facility Assessment

Building Systems Evaluation

Items of note include:

Toilet Room Building

HVAC items to note include:

- The heating consists of electric horizontal unit heaters. Replace units as they fail.
- A roof mounted exhaust fan serves the toilet rooms. There is no immediate need to replace.

Plumbing items to note include:

- China for the toilets, urinals, and lavatories is in fair condition.
- The water service has the required backflow prevention.
- It is suspected that no hot water is available for handwashing, could not locate a water heater on site.
- There are no known issues with the building's sanitary system.
- Building is lacking rain gutters and downspouts.

Electrical items to note include:

- Service to the building is single phase, 120/240-volt, Federal Pacific Panel. These are no longer manufactured and should be considered for replacement.
- Replace existing lighting with LED fixtures should be considered.

Ticketing and Concession Building

HVAC items to note include:

- There is no heating system in the building. This requires the building plumbing to be fully drained if freezing conditions are possible.
- The fryer hood is lacking a fire suppression system typically required on grease hoods.

Plumbing items to note include:

- The water heater age is unknown but appear to be in fair condition.

- Fixtures appear to be in fair condition
- There does not appear to be any grease traps

Electrical items to note include:

- The service panel appears to be in good condition.
- GFCI receptacles are missing near the sinks.
- Lighting appears to be in good condition.

Band Concession Building

HVAC items to note include:

- Three electric unit heaters serve the building. Building plumbing is required to be drained when freezing is possible.
- There is no grease hood present over fryer.

Plumbing items to note include:

- The water heater age is unknown but appears to be in good condition.

Electrical items to note include:

- The building service is from a 50 KVA transformer that feeds a 120 / 240 V three phase panel with a 200-amp main breaker. It appears to be in good condition.
- Lighting is strip fluorescent that are in good condition.

Football Stadium and Press Box

HVAC items to note include:

- There are no HVAC systems in the press box.

Plumbing items to note include:

- There are no plumbing systems in the press box.

Electrical items to note include:

- The field lighting is aged, but H.F. Lenz. was told there is a project in place to upgrade the field lighting to LED.
- There is no reported issues with the stadium PA system.

Stadium Complex – Existing Facility Assessment

Building Systems Recommendations

Items of note include:

Toilet Room Building

1. Add domestic hot water system for hand washing if not present.
2. Replace main electrical panel.
3. Replace lighting with LED lighting.
4. Consider additional upgrades depending on possible architectural renovations.

Ticketing and Concession Building

1. Add GFCI receptacles in damp locations.

Band Concession Building

1. Add hood exhaust over cooking appliances.

Football Stadium and Press Box

1. None

IMPROVEMENT PRIORITIES
HW GOOD ELEMENTARY

HW GOOD ELEMENTARY

		SHORT TERM	MID TERM	LONG TERM	NOT NEEDED
HWG-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work)	0-3 years	3-5 years	5-10 years	not needed
	Repaint existing parking spaces and numbers. This would be incorporated into a paving project	0-3 years	3-5 years	5-10 years	not needed
HWG-2	Toilet Room Accessibility Upgrades				
	Group Toilet room reconfigurations (including partitions, grab bars, accessories) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
	Add pipe protection at exposed sinks	0-3 years	3-5 years	5-10 years	not needed
	Add/replace accessible stalls where not provided/not code compliant	0-3 years	3-5 years	5-10 years	not needed
	Confirm mounting height requirements for toilet accessories	0-3 years	3-5 years	5-10 years	not needed
	Remove sinks, relocate dispensers, and add vertical grab bars to toilet stalls	0-3 years	3-5 years	5-10 years	not needed
	Single Toilet Room ADA upgrades	0-3 years	3-5 years	5-10 years	not needed
	Add vertical grab bar	0-3 years	3-5 years	5-10 years	not needed
HWG-3	Door and Hardware Upgrades				
	Replace door handle hardware (Replace instances of non-compliant ADA hardware. Replace all hardware as one project) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
HWG-4	Signage Upgrades. This work can be done by the school or included in a comprehensive project to comply with the accessibility update requirements				
	Replace or provide new code compliant signage	0-3 years	3-5 years	5-10 years	not needed
	Provide tactile signage at all doors and exits	0-3 years	3-5 years	5-10 years	not needed
	Provide tactile signage at toilet rooms	0-3 years	3-5 years	5-10 years	not needed
	Provide signage at all secondary entrance doors directing visitors to Main Entrance	0-3 years	3-5 years	5-10 years	not needed
HWG-5	Casework Accessibility Upgrades				
	Replace sink casework in general classrooms to provide pull under wheelchair approach. This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
	Replace casework in Art classrooms to provide pull under wheelchair approach. This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES
HW GOOD ELEMENTARY

HWG-6	Secure Entrance Modifications. <i>These modifications can be done by the school independently or as a security upgrade project.</i>				
	Provide surveillance/access control system to include; - Door 9 needs bell and camera - Door 10 has views to side parking lot. In need or 1 to 2 cameras for security.	0-3 years	3-5 years	5-10 years	not needed

HWG-7	Exterior Finish Improvements <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Remove and replace any displaced or damaged brick. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed
	Repoint mortar joints as necessary. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed
	Clean and seal masonry surfaces. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect and fill miscellaneous step cracks. Monitor routinely. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed
	Recaulk joints. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed

HWG-8	Exterior Doors/Windows. <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Replace broken or missing window screens as necessary <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect frames for damage, paint as necessary <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed
	Replace damaged caulking. <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed
	Clean and repaint chalking exterior doors and frames. <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed

HWG-9	Roofing Improvements				
	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary. <i>Yearly maintenance should be performed to prolong the life of the roof and flashing.</i>	0-3 years	3-5 years	5-10 years	not needed

HWG-10	Site Improvements				
	Repair miscellaneous broken/ cracked concrete and concrete curbs. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Installation of a "frost-free" slab at all exterior doors	0-3 years	3-5 years	5-10 years	not needed
	Create new canopy/ shaded areas for playgrounds. <i>This work could be done as a separate project and potentially funded by PTO</i>	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES

HW GOOD ELEMENTARY

	Fill playgrounds with new mulch. <i>This work could be done as a separate project and potentially funded by PTO</i>	0-3 years	3-5 years	5-10 years	not needed
	Replant garden landscaping. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Repave surface lots	0-3 years	3-5 years	5-10 years	not needed
	Parking lot expansion into adjacent grass area can be considered. Coordination with storm water retention basin will be necessary.	0-3 years	3-5 years	5-10 years	not needed
	<i>Re-route parent drop-off and pick-up through new paved lot. Lot can be used for faculty and off hour school functions.</i>	0-3 years	3-5 years	5-10 years	not needed

HWG-11	Interior Floor Finish Improvements				
	Repair any cracked or damaged VCT flooring in corridors and classrooms. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed

HWG-12	Interior Wall Finish Improvements				
	Inspect and repaint CMU and GWB/Plaster walls as necessary. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect and repair/replace damaged finishes as necessary. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	New painting throughout could be considered to add colors and improved aesthetics. <i>This work could be done by the school or as part of a comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed

HWG-13	Interior Ceiling Finish Improvements				
	Replace ACT ceiling throughout building. This is typically done in conjunction with a full lighting replacement project.	0-3 years	3-5 years	5-10 years	not needed
	<i>Replace discolored ceiling tiles throughout school</i>	0-3 years	3-5 years	5-10 years	not needed
	<i>Inspection to determine the cause of water leaking should be performed and the issues corrected. Yearly inspection of ceiling and mechanical systems should be performed, and repairs done, as necessary.</i>	0-3 years	0-3 years	0-3 years	0-3 years

HWG-14	Locker Improvements				
	Change current classroom closet storage to student cubby storage, add additional teacher storage.	0-3 years	3-5 years	5-10 years	not needed
	<i>A larger scale option includes renovations to hallway to include student lockers.</i>	0-3 years	3-5 years	5-10 years	not needed

HWG-15	Hazardous Materials				
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IMPROVEMENT PRIORITIES

HW GOOD ELEMENTARY

	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports. <i>This would be incorporated into an MEP or comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
HWG-16	General and Special Education Classroom Improvements				
	Replace existing casework in all classrooms. This is not critical but new finishes can be grouped with creating ADA accessible approaches to classroom sinks.	0-3 years	3-5 years	5-10 years	not needed
	Add new classroom wing off the existing school to alleviate average class size.	0-3 years	3-5 years	5-10 years	not needed
HWG-17	Computer Classroom Improvements				
		0-3 years	3-5 years	5-10 years	not needed
HWG-18	Music Room Improvements				
	Create or add dedicated storage for music paper and equipment if space is to stay in existing library.	0-3 years	3-5 years	5-10 years	not needed
	In conjunction with the classroom wing addition, create a new music room to move the program from the library.	0-3 years	3-5 years	5-10 years	not needed
HWG-19	Library				
		0-3 years	3-5 years	5-10 years	not needed
HWG-20	Multi-Purpose				
	Replace stage curtain	0-3 years	3-5 years	5-10 years	not needed
	Replace all stage lighting, sound, and technical equipment.	0-3 years	3-5 years	5-10 years	not needed
	In conjunction with the classroom wing addition, create a second gymnasium. This would solely be used for gym class and indoor recess; leaving the multipurpose room to function for lunch hours and productions.	0-3 years	3-5 years	5-10 years	not needed
HWG-21	Art Room				
		0-3 years	3-5 years	5-10 years	not needed
HWG-22	Kitchen				

IMPROVEMENT PRIORITIES

HW GOOD ELEMENTARY

	<i>Scope will be determined after discussions with the District</i>	0-3 years	3-5 years	5-10 years	not needed
HWG-HVAC	HVAC Systems				
	Replace hot water piping that remained from the original building construction	0-3 years	3-5 years	5-10 years	not needed
	Add variable frequency drives to the hot water pumps	0-3 years	3-5 years	5-10 years	not needed
	Replace the unit ventilators due to age or install another type of HVAC system with better efficiency	0-3 years	3-5 years	5-10 years	not needed
	Replace the condensing units (should this be accomplished, the associated unit ventilator would need replaced as it would not be compatible with the refrigerant that a new condensing unit would use)	0-3 years	3-5 years	5-10 years	not needed
	Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.	0-3 years	3-5 years	5-10 years	not needed
	Replace the outdated roof exhaust fans	0-3 years	3-5 years	5-10 years	not needed
	Replace the air handling units serving the Multi-Purpose Room and Library	0-3 years	3-5 years	5-10 years	not needed
	Revise the make-up air for the toilet rooms so that it is not coming from the corridor	0-3 years	3-5 years	5-10 years	not needed
	Replace leaking B&G flow regulators	0-3 years	3-5 years	5-10 years	not needed
HWG-P	Plumbing Systems				
	Replace the piping, both domestic and sanitary that remained from the original construction of the building	0-3 years	3-5 years	5-10 years	not needed
	Install trap seal guards in floor drains	0-3 years	3-5 years	5-10 years	not needed
HWG-E	Electrical, Lighting & Data Systems				
	Replace the existing switchboard	0-3 years	3-5 years	5-10 years	not needed
	Replace the panelboards throughout the building	0-3 years	3-5 years	5-10 years	not needed
	Replace the emergency generator. Add a second transfer switch to meet code.	0-3 years	3-5 years	5-10 years	not needed
	Replace the main fire alarm panel	0-3 years	3-5 years	5-10 years	not needed
	Add fire alarm strobes in restrooms and classrooms to meet code (this will probably require the replacement of the main fire alarm panel)	0-3 years	3-5 years	5-10 years	not needed
	Replace the existing lighting throughout the school with LED lighting and	0-3 years	3-5 years	5-10 years	not needed
	Add ground fault circuit interrupter receptacles where required by today's	0-3 years	3-5 years	5-10 years	not needed
	Upgrade clock system and wiring throughout school	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES
MENDON ELEMENTARY

MENDON ELEMENTARY

		SHORT TERM	MID TERM	LONG TERM	NOT NEEDED
M-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work)	0-3 years	3-5 years	5-10 years	not needed
	Repaint existing parking spaces and numbers. This would be incorporated into a paving project	0-3 years	3-5 years	5-10 years	not needed
M-2	Toilet Room Accessibility Upgrades				
	Group Toilet room reconfigurations (including partitions, grab bars, accessories) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
	Add pipe protection at exposed sinks	0-3 years	3-5 years	5-10 years	not needed
	Add/replace accessible stalls where not provided/not code compliant	0-3 years	3-5 years	5-10 years	not needed
	Confirm mounting height requirements for toilet accessories	0-3 years	3-5 years	5-10 years	not needed
	Remove sinks, relocate dispensers, upgrade toilet partitions, and add vertical grab bars to toilet stalls	0-3 years	3-5 years	5-10 years	not needed
	Single Toilet Room ADA upgrades	0-3 years	3-5 years	5-10 years	not needed
	Add vertical grab bar	0-3 years	3-5 years	5-10 years	not needed
M-3	Door and Hardware Upgrades				
	Replace door handle hardware (Replace instances of non-compliant ADA hardware. Replace all hardware as one project) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
M-4	Signage Upgrades. This work can be done by the school or included in a comprehensive project to comply with the accessibility update requirements				
	Provide tactile signage at all doors and exits	0-3 years	3-5 years	5-10 years	not needed
	Relocate toilet room signage from face of door to appropriate position, provide tactile signage at toilet rooms	0-3 years	3-5 years	5-10 years	not needed
	Provide signage at all secondary entrance doors directing visitors to Main Entrance	0-3 years	3-5 years	5-10 years	not needed
M-5	Casework Accessibility Upgrades. This work can be done by the school or included in a comprehensive project to comply with the accessibility update requirements				
	Replace sink casework in general classrooms to provide pull under wheelchair approach.	0-3 years	3-5 years	5-10 years	not needed
	Replace casework in Art classrooms to provide pull under wheelchair approach.	0-3 years	3-5 years	5-10 years	not needed
M-6	Secure Entrance Modifications				

IMPROVEMENT PRIORITIES
MENDON ELEMENTARY

		0-3 years	3-5 years	5-10 years	not needed
M-7	Exterior Finish Improvements <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Remove and replace any displaced or damaged brick	0-3 years	3-5 years	5-10 years	not needed
	Repoint mortar joints as necessary	0-3 years	3-5 years	5-10 years	not needed
	Clean and seal masonry surfaces	0-3 years	3-5 years	5-10 years	not needed
	Inspect and fill step cracks at floor movement area. Monitor routinely.	0-3 years	3-5 years	5-10 years	not needed
	<i>Not an immediate concern for occupants. It is advised to meet with a structural engineer before issue becomes a larger problem.</i>				
	Recaulk joints	0-3 years	3-5 years	5-10 years	not needed
M-8	Exterior Doors/Windows. <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Replace broken or missing window screens as necessary <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect frames for damage, paint as necessary <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed
	Replace damaged caulking. <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed
M-9	Roofing Improvements				
	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary. <i>Yearly maintenance should be performed to prolong the life of the roof and flashing.</i>	0-3 years	3-5 years	5-10 years	not needed
M-10	Site Improvements				
	Repair miscellaneous broken/ cracked concrete and concrete curbs	0-3 years	3-5 years	5-10 years	not needed
	Replace or repair entrance canopy. <i>This work should be prioritized as a short term project in order to prevent further damage to the canopies and paving.</i>	0-3 years	3-5 years	5-10 years	not needed
	<i>Repaint canopy underside and structure for cosmetic upgrades. Replace roof system and rework drainage system to account for correct drainage slope.</i>	0-3 years	3-5 years	5-10 years	not needed
	Repave surface lots	0-3 years	3-5 years	5-10 years	not needed
	Routine maintenance and landscaping of courtyard	0-3 years	3-5 years	5-10 years	not needed
M-11	Interior Floor Finish Improvements				
	Repair any cracked or damaged VCT flooring in corridors and classrooms	0-3 years	3-5 years	5-10 years	not needed
	Inspect floor base shifting and settling for further movement	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES

MENDON ELEMENTARY

	<i>Shifting does not appear to be an immediate structural concern. Meet with a structural engineer to determine what is causing the movement and cracking finishes. Repair and fill cracks as necessary.</i>	0-3 years	3-5 years	5-10 years	not needed
M-12	Interior Wall Finish Improvements				
	Inspect and repaint CMU and GWB/Plaster walls as necessary. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect and repair/replace damaged finishes as necessary. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	New painting throughout could be considered to add colors and improved aesthetics. <i>This work could be done by the school or as part of a comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
M-13	Interior Ceiling Finish Improvements				
	Replace ACT ceiling throughout building. This is typically done in conjunction with a full lighting replacement project.	0-3 years	3-5 years	5-10 years	not needed
	<i>Replace discolored ceiling tiles throughout school (included in scope above)</i>	0-3 years	3-5 years	5-10 years	not needed
	<i>Inspection to determine the cause of water leaking should be performed and the issues corrected. Yearly inspection of ceiling and mechanical systems should be performed, and repairs done, as necessary.</i>	0-3 years	3-5 years	5-10 years	not needed
M-14	Locker Improvements				
	Delineate separate student and teacher storage.	0-3 years	3-5 years	5-10 years	not needed
	<i>Investigate new student cubbies or lockers in hallway, or reorganization of existing classroom layout.</i>	0-3 years	3-5 years	5-10 years	not needed
M-15	Hazardous Materials				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports. <i>This would be incorporated into an MEP or comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
M-16	General and Special Education Classroom Improvements				
	Replace existing casework in all classrooms. Not critical but can be grouped with creating ADA accessible approaches to classroom sinks.	0-3 years	3-5 years	5-10 years	not needed
M-17	Computer Classroom Improvements				
		0-3 years	3-5 years	5-10 years	not needed
M-18	Music Room Improvements				

IMPROVEMENT PRIORITIES
MENDON ELEMENTARY

		0-3 years	3-5 years	5-10 years	not needed
M-19	Library				
	Purchase new flexible soft seating and furniture. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Provide bench seating and additional shade for courtyard. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
M-20	Multi-Purpose				
	Provide additional acoustic wall panels for sound absorption	0-3 years	3-5 years	5-10 years	not needed
	<i>Rule of thumb is 30% of wall surface should have acoustical panels.</i>				
M-21	Art Room				
		0-3 years	3-5 years	5-10 years	not needed
M-22	Kitchen				
	<i>Scope will be determined after discussions with the District</i>	0-3 years	3-5 years	5-10 years	not needed
M-HVAC	HVAC Systems				
	Replace hot water piping that remained from the original building construction	0-3 years	3-5 years	5-10 years	not needed
	Add variable frequency drives to the hot water pumps	0-3 years	3-5 years	5-10 years	not needed
	Replace the unit ventilators due to age or install another type of HVAC system with better efficiency	0-3 years	3-5 years	5-10 years	not needed
	Replace the condensing units (should this be accomplished, the associated unit ventilator would need replaced as it would not be compatible with the refrigerant that a new condensing unit would use)	0-3 years	3-5 years	5-10 years	not needed
	Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.	0-3 years	3-5 years	5-10 years	not needed
	Replace the outdated roof exhaust fans	0-3 years	3-5 years	5-10 years	not needed
	Replace the air handling unit serving the Multi-Purpose Room.	0-3 years	3-5 years	5-10 years	not needed
	Replace the air handling unit and associated condensing unit serving the library.	0-3 years	3-5 years	5-10 years	not needed
	Revise the make-up air for the toilet rooms so that it is not coming from the corridor	0-3 years	3-5 years	5-10 years	not needed
	Replace the corroded cabinet unit heaters, finned tube and convectors	0-3 years	3-5 years	5-10 years	not needed
M-P	Plumbing Systems				
	Replace the piping, both domestic and sanitary that remained from the original construction of the building	0-3 years	3-5 years	5-10 years	not needed
	In conjunction with architectural revisions, revise the canopy drainage so it is functional	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES

MENDON ELEMENTARY

	Repair or replace the storm water piping where leaks have developed	0-3 years	3-5 years	5-10 years	not needed
	Install trap seal guards in floor drains	0-3 years	3-5 years	5-10 years	not needed
	Replace some of the water coolers with units that are handicapped accessible	0-3 years	3-5 years	5-10 years	not needed

M-E	Electrical, Lighting & Data Systems				
	Replace the existing switchboard	0-3 years	3-5 years	5-10 years	not needed
	Replace the panelboards throughout the building	0-3 years	3-5 years	5-10 years	not needed
	Replace the emergency generator. Add a second transfer switch to meet code.	0-3 years	3-5 years	5-10 years	not needed
	Replace the main fire alarm panel	0-3 years	3-5 years	5-10 years	not needed
	Add fire alarm strobes in restrooms and classrooms to meet code (this will probably require the replacement of the main fire alarm panel)	0-3 years	3-5 years	5-10 years	not needed
	Replace the existing lighting throughout the school with LED lighting and	0-3 years	3-5 years	5-10 years	not needed
	Add ground fault circuit interrupter receptacles where required by today's code	0-3 years	3-5 years	5-10 years	not needed
	Upgrade clock system and wiring throughout school	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES
WEST NEWTON ELEMENTARY

WEST NEWTON ELEMENTARY

		SHORT TERM	MID TERM	LONG TERM	NOT NEEDED
WN-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work)	0-3 years	3-5 years	5-10 years	not needed
	Repaint existing parking spaces and numbers. This would be incorporated into a paving project	0-3 years	3-5 years	5-10 years	not needed
WN-2	Toilet Room Accessibility Upgrades				
	Group Toilet room reconfigurations (including partitions, grab bars, accessories) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
	Add pipe protection at exposed sinks	0-3 years	3-5 years	5-10 years	not needed
	Add/replace accessible stalls where not provided/not code compliant	0-3 years	3-5 years	5-10 years	not needed
	Confirm mounting height requirements for toilet accessories	0-3 years	3-5 years	5-10 years	not needed
	Remove sinks, relocate dispensers, upgrade toilet partitions, and add vertical grab bars to toilet stalls	0-3 years	3-5 years	5-10 years	not needed
	Single Toilet Room ADA upgrades	0-3 years	0-3 years	0-3 years	0-3 years
	Add vertical grab bar	0-3 years	0-3 years	0-3 years	0-3 years
WN-3	Door and Hardware Upgrades				
	Replace door handle hardware (Replace instances of non-compliant ADA hardware. Replace all hardware as one project) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
WN-4	Signage Upgrades. This work can be done by the school or included in a comprehensive project to comply with the accessibility update requirements				
	Provide tactile signage at all doors and exits	0-3 years	3-5 years	5-10 years	not needed
	Relocate toilet room signage from face of door to appropriate position, provide tactile signage at toilet rooms	0-3 years	3-5 years	5-10 years	not needed
	Provide signage at all secondary entrance doors directing visitors to Main Entrance	0-3 years	3-5 years	5-10 years	not needed
WN-5	Casework Accessibility Upgrades				
	Replace sink casework in general classrooms to provide pull under wheelchair approach. This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES
WEST NEWTON ELEMENTARY

	Replace casework in Art classrooms to provide pull under wheelchair approach. <i>This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements</i>	0-3 years	3-5 years	5-10 years	not needed
WN-6	Secure Entrance Modifications				
		0-3 years	3-5 years	5-10 years	not needed
WN-7	Exterior Finish Improvements <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Remove and replace any displaced or damaged brick. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed
	Repoint mortar joints as necessary. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed
	Clean and seal masonry surfaces. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect and fill miscellaneous step cracks. Monitor routinely. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed
	Recaulk joints. <i>This work can be performed by the school</i>	0-3 years	3-5 years	5-10 years	not needed
WN-8	Exterior Doors/Windows. <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Replace broken or missing window screens as necessary <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect frames for damage, paint as necessary <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed
	Replace damaged caulking. <i>School can perform this work</i>	0-3 years	3-5 years	5-10 years	not needed
WN-9	Roofing Improvements				
	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary. <i>Yearly maintenance should be performed to prolong the life of the roof and flashing.</i>	0-3 years	3-5 years	5-10 years	not needed
WN-10	Site Improvements				
	Repair miscellaneous broken/ cracked concrete and concrete curbs. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Repave surface lots	0-3 years	3-5 years	5-10 years	not needed
	<i>At asphalt paving, have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future.</i>	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES
WEST NEWTON ELEMENTARY

	Replace existing playground equipment, landscaping, and repave play areas. Playground updates and lot repaving could be joined into one larger exterior renovation project. <i>This work could be done as a separate project and potentially funded by PTO</i>	0-3 years	3-5 years	5-10 years	not needed
WN-11	Interior Floor Finish Improvements				
	Repair any cracked or damaged VCT flooring in corridors and classrooms. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
WN-12	Interior Wall Finish Improvements				
	Inspect and repaint CMU and GWB/Plaster walls as necessary. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect and repair/replace damaged finishes as necessary. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	New painting throughout could be considered to add colors and improved aesthetics. <i>This work could be done by the school or as part of a comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
WN-13	Interior Ceiling Finish Improvements				
	Replace ACT ceiling throughout building. This is typically done in conjunction with a full lighting replacement project.	0-3 years	3-5 years	5-10 years	not needed
	<i>Replace discolored ceiling tiles throughout school (included in scope above)</i>	0-3 years	3-5 years	5-10 years	not needed
	<i>Inspection to determine the cause of water leaking should be performed and the issues corrected. Yearly inspection of ceiling and mechanical systems should be performed, and repairs done, as necessary.</i>	0-3 years	0-3 years	0-3 years	0-3 years
WN-14	Locker Improvements				
	Delineate separate student and teacher storage.	0-3 years	3-5 years	5-10 years	not needed
	<i>Investigate new student cubbies or lockers in hallway, or reorganization of existing classroom layout.</i>	0-3 years	3-5 years	5-10 years	not needed
WN-15	Hazardous Materials				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports. <i>This would be incorporated into an MEP or comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
WN-16	General and Special Education Classroom Improvements				
	Replace existing casework in all classrooms. Not critical but can be grouped with creating ADA accessible approaches to classroom sinks.	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES
WEST NEWTON ELEMENTARY

WN-17	Music Room Improvements				
	Mount additional acoustic wall treatment. <i>This work could be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
WN-18	Library				
	Upgrade finishes, lighting, and furniture for a combined library and media center program	0-3 years	3-5 years	5-10 years	not needed
WN-19	Multi-Purpose				
	Provide additional acoustic wall panels for sound absorption	0-3 years	3-5 years	5-10 years	not needed
	<i>Rule of thumb is 30% of wall surface should have acoustical panels.</i>				
	Remove stage stairs and provide rubber nosing for protection.	0-3 years	3-5 years	5-10 years	not needed
WN-20	Art Room				
	Paint accent colors or murals on art room walls. <i>District could self perform this work.</i>	0-3 years	3-5 years	5-10 years	not needed
WN-21	Kitchen				
	<i>Scope will be determined after discussions with the Principals</i>	0-3 years	3-5 years	5-10 years	not needed
WN-HVAC	HVAC Systems				
	Replace hot water piping and isolation valves that remained from the original building construction	0-3 years	3-5 years	5-10 years	not needed
	Replace the unit ventilators due to age or install another type of HVAC system with better efficiency	0-3 years	3-5 years	5-10 years	not needed
	Replace the condensing units (should this be accomplished, the associated unit ventilator would need replaced as it would not be compatible with the refrigerant that a new condensing unit would use)	0-3 years	3-5 years	5-10 years	not needed
	Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.	0-3 years	3-5 years	5-10 years	not needed
	Replace the outdated roof exhaust fans	0-3 years	3-5 years	5-10 years	not needed
	Replace the air handling unit serving the Multi-Purpose Room.	0-3 years	3-5 years	5-10 years	not needed
	Replace the air handling unit and associated condensing unit serving the library.	0-3 years	3-5 years	5-10 years	not needed
	Revise the make-up air for the toilet rooms so that it is not coming from the corridor	0-3 years	3-5 years	5-10 years	not needed
	Install ventilation/ exhaust from the emergency generator	0-3 years	3-5 years	5-10 years	not needed
WN-P	Plumbing Systems				
	Replace the piping, both domestic and sanitary that remained from the original construction of the building	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES
WEST NEWTON ELEMENTARY

	Replace the quantity of lavatories, urinals, and water coolers to meet handicapped requirements	0-3 years	3-5 years	5-10 years	not needed
	Install trap seal guards in floor drains	0-3 years	3-5 years	5-10 years	not needed

WN-E	Electrical, Lighting & Data Systems				
	Replace the existing switchboard	0-3 years	3-5 years	5-10 years	not needed
	Replace the panelboards throughout the building	0-3 years	3-5 years	5-10 years	not needed
	Add a second transfer switch to the emergency generator to meet code	0-3 years	3-5 years	5-10 years	not needed
	Replace the main fire alarm panel	0-3 years	3-5 years	5-10 years	not needed
	Add fire alarm strobes in restrooms and classrooms to meet code	0-3 years	3-5 years	5-10 years	not needed
	Replace the existing lighting throughout the school with LED lighting and	0-3 years	3-5 years	5-10 years	not needed
	Add ground fault circuit interrupter receptacles where required by today's code	0-3 years	3-5 years	5-10 years	not needed
	Upgrade clock system and wiring throughout school	0-3 years	3-5 years	5-10 years	not needed
	Upgrade phone and paging system throughout school	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES
INTERMEDIATE MIDDLE

INTERMEDIATE MIDDLE SCHOOL

		SHORT TERM	MID TERM	LONG TERM	NOT NEEDED
IM-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work)	0-3 years	3-5 years	5-10 years	not needed
	Repaint existing parking spaces and numbers. This would be incorporated into a paving projects	0-3 years	3-5 years	5-10 years	not needed
IM-2	Toilet Room/ Locker Room Accessibility Upgrades. <i>Since this is the newest district building, the work can be done after the other buildings are addressed.</i>				
	Group Toilet room reconfigurations (including partitions, grab bars, accessories)	0-3 years	3-5 years	5-10 years	not needed
	Add pipe protection at exposed sinks	0-3 years	3-5 years	5-10 years	not needed
	Add vertical grab bars to toilet stalls	0-3 years	3-5 years	5-10 years	not needed
	Single Toilet Room ADA upgrades				
	Add vertical grab bar	0-3 years	3-5 years	5-10 years	not needed
	Replace stainless steel shrouds with ADA compliant fixtures in showers.	0-3 years	3-5 years	5-10 years	not needed
IM-3	Door and Hardware Upgrades				
		0-3 years	3-5 years	5-10 years	not needed
IM-4	Signage Upgrades				
		0-3 years	3-5 years	5-10 years	not needed
IM-5	Casework Accessibility Upgrades <i>Since this is the newest district building, the work can be done after the other buildings are addressed.</i>				
	Replace sink casework in Family Consumer Science classroom to provide pull under wheelchair approach. (Only one work station will need modified for ADA access but the entire room casework could be upgraded)	0-3 years	3-5 years	5-10 years	not needed
	Replace casework in Science classrooms to provide pull under wheelchair approach. (Only one work station will need modified for ADA access but the entire room casework could be upgraded)	0-3 years	3-5 years	5-10 years	not needed
	Replace casework in Art classrooms to provide pull under wheelchair approach.	0-3 years	3-5 years	5-10 years	not needed
IM-6	Egress Path Corrections				
		0-3 years	3-5 years	5-10 years	not needed
IM-7	Secure Entrance Modifications				

IMPROVEMENT PRIORITIES

INTERMEDIATE MIDDLE

		0-3 years	3-5 years	5-10 years	not needed
IM-8	Exterior Finish Improvements <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Remove and replace any displaced or damaged brick	0-3 years	3-5 years	5-10 years	not needed
	Repoint mortar joints as necessary	0-3 years	3-5 years	5-10 years	not needed
	Clean and seal masonry surfaces	0-3 years	3-5 years	5-10 years	not needed
	Recaulk joints	0-3 years	3-5 years	5-10 years	not needed
IM-9	Exterior Doors/Windows <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Inspect door and window frames for damage, paint as necessary	0-3 years	3-5 years	5-10 years	not needed
	Inspect door panels for fading and damage, paint as necessary	0-3 years	3-5 years	5-10 years	not needed
	Inspect and replace broken glass	0-3 years	3-5 years	5-10 years	not needed
IM-10	Roofing Improvements <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary	0-3 years	3-5 years	5-10 years	not needed
IM-11	Site Improvements				
	Repair miscellaneous broken/ cracked concrete and concrete curbs. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Routine Maintenance and trimming of perimeter landscape. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Replace or repair front electric signage. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Routine maintenance to courtyard landscape. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
IM-12	Interior Floor Finish Improvements				
	Replace cracked and worn VCT flooring in classroom. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	<i>The floor tile should be removed in the problem areas and then the flooring replaced. Areas should be monitored for further deterioration from furniture.</i>				
	Repair any damaged VCT flooring in corridors. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
IM-13	Interior Wall Finish Improvements				
	Inspect and repair cracks near cafeteria. Fill and paint as necessary. Monitor routinely. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES

INTERMEDIATE MIDDLE

	Inspect and repair corridor wall bases for shifting or settling. Routine inspection required. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect and repaint CMU and GWB/Plaster walls as necessary <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect and repair/replace damaged finishes as necessary <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
IM-14	Interior Ceiling Finish Improvements				
	Replace discolored ACT ceiling throughout building. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspection to determine the cause of water leaking should be performed and the issues corrected. Yearly inspection of ceiling and mechanical systems should be performed, and repairs done, as necessary. <i>This evaluation should occur in the short term.</i>	0-3 years	3-5 years	5-10 years	not needed
IM-15	Locker Improvements				
	Ensure lockers meet 5% accessibility requirement	0-3 years	3-5 years	5-10 years	not needed
IM-16	Hazardous Materials				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports. <i>This would be incorporated into an MEP or comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
IM-17	General and Special Education Classroom Improvements				
		0-3 years	3-5 years	5-10 years	not needed
IM-18	Computer Classroom Improvements				
		0-3 years	3-5 years	5-10 years	not needed
IM-19	Music/Band Room Improvements				
		0-3 years	3-5 years	5-10 years	not needed
IM-20	Library				
		0-3 years	3-5 years	5-10 years	not needed
IM-21	Gymnasiums				
		0-3 years	3-5 years	5-10 years	not needed
IM-22	Art Room				
	Move the 2D or 3D program into the unused art room on the second floor. Provide appropriate furniture and equipment for the room: pottery wheels, student workstations, etc.	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES
INTERMEDIATE MIDDLE

IM-23	Cafeteria				
		0-3 years	3-5 years	5-10 years	not needed
IM-24	Kitchen				
	<i>Scope will be determined after discussions with the District</i>	0-3 years	3-5 years	5-10 years	not needed
IM-25	Auditorium				
		0-3 years	3-5 years	5-10 years	not needed
IM-26	Tech Ed Rooms				
		0-3 years	3-5 years	5-10 years	not needed
IM-HVAC	HVAC Systems				
	Replace boilers	0-3 years	3-5 years	5-10 years	not needed
	Replace packaged roof top units	0-3 years	3-5 years	5-10 years	not needed
IM-P	Plumbing Systems				
	Replace non-ada compliant shower controls	0-3 years	3-5 years	5-10 years	not needed
IM-E	Electrical, Lighting & Data Systems				
	Replace main fire alarm panel	0-3 years	3-5 years	5-10 years	not needed
	Replace metal halide fixture at building entrances that are currently not well lit.	0-3 years	3-5 years	5-10 years	not needed
	Replace existing lighting throughout the building with LED lighting and low voltage controls including sensors.	0-3 years	3-5 years	5-10 years	not needed
	Upgrade clock systems throughout the building	0-3 years	3-5 years	5-10 years	not needed
	Upgrade paging system throughout the building	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES

HIGH SCHOOL

HIGH SCHOOL

		SHORT TERM	MID TERM	LONG TERM	NOT NEEDED
HS-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work)	0-3 years	3-5 years	5-10 years	not needed
	Repaint existing parking spaces and numbers. This would be incorporated into a paving project	0-3 years	3-5 years	5-10 years	not needed
HS-2	Toilet Room/ Locker Room Accessibility Upgrades				
	Group Toilet room reconfigurations (including partitions, grab bars, accessories) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
	Add pipe protection at exposed sinks	0-3 years	3-5 years	5-10 years	not needed
	Add/replace accessible stalls where not provided/not code compliant	0-3 years	3-5 years	5-10 years	not needed
	Remove sinks, relocate dispensers, and add vertical grab bars to toilet stalls	0-3 years	3-5 years	5-10 years	not needed
	Locker room reconfigurations (including partitions, vertical grab bars, accessories) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
	Single Toilet Room ADA upgrades				
	Add vertical grab bars	0-3 years	3-5 years	5-10 years	not needed
HS-3	Door and Hardware Upgrades				
	Replace door handle hardware (We are assuming to replace all existing door hardware at this time. This number may change as project scope is further defined) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements	0-3 years	3-5 years	5-10 years	not needed
HS-4	Signage Upgrades				
	Replace or provide new code compliant signage This work can be done by the school or included in a comprehensive project to comply with the accessibility update requirements				
	Provide tactile signage at all doors and exits	0-3 years	3-5 years	5-10 years	not needed
	Relocate toilet room signage from face of door to appropriate position, provide tactile signage at toilet rooms	0-3 years	3-5 years	5-10 years	not needed
	Provide code-compliant signage at elevator	0-3 years	3-5 years	5-10 years	not needed
	Provide signage at all secondary entrance doors directing visitors to Main Entrance	0-3 years	3-5 years	5-10 years	not needed
HS-5	Casework Accessibility Upgrades				

IMPROVEMENT PRIORITIES

HIGH SCHOOL

	Replace sink casework in Family Consumer Science classroom to provide pull under wheelchair approach. <i>This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements</i>	0-3 years	3-5 years	5-10 years	not needed
	Replace casework in Science classrooms to provide pull under wheelchair approach. (Only one work station will need modified for ADA access but the entire room casework could be upgraded) <i>This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements</i>	0-3 years	3-5 years	5-10 years	not needed
	Replace casework in Art classrooms to provide pull under wheelchair approach. <i>This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements</i>	0-3 years	3-5 years	5-10 years	not needed

	HS-6 Egress Path Corrections				
	Stair guardrail modifications. Modify or replace existing guardrails with code compliant 42" design. <i>This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements</i>	0-3 years	3-5 years	5-10 years	not needed
	Stair handrail addition to guard rails to meet code. <i>This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements</i>	0-3 years	3-5 years	5-10 years	not needed

	HS-7 Secure Entrance Modifications				
		0-3 years	3-5 years	5-10 years	not needed

	HS-8 Exterior Finish Improvements <i>The exterior envelope should be addressed in the short term to maintain a safe and water tight condition</i>				
	Remove and replace any displaced or damaged brick	0-3 years	3-5 years	5-10 years	not needed
	Repoint mortar joints as necessary	0-3 years	3-5 years	5-10 years	not needed
	Clean and seal masonry surfaces	0-3 years	3-5 years	5-10 years	not needed
	Recaulk joints	0-3 years	3-5 years	5-10 years	not needed

	HS-9 Exterior Doors/Windows				
	Replace all windows for greater efficiency and change color if desired	0-3 years	3-5 years	5-10 years	not needed
	Inspect window and door frames for damage, paint as necessary	0-3 years	3-5 years	5-10 years	not needed
	Clean and repaint chalking exterior doors and frames <i>We are assuming the exterior doors have already been addressed by the school. Any remaining doors/frames should be addressed if required</i>	0-3 years	3-5 years	5-10 years	not needed

	HS-10 Roofing Improvements				
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IMPROVEMENT PRIORITIES

HIGH SCHOOL

	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary. <i>Yearly maintenance should be performed to prolong the life of the roof and flashing.</i>	0-3 years	3-5 years	5-10 years	not needed
HS-11	Site Improvements				
	Add new light fixtures near drives and walkways. <i>This work can be incorporated into an MEP project</i>	0-3 years	3-5 years	5-10 years	not needed
	Repair miscellaneous broken/ cracked concrete and concrete curbs. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Routine Maintenance and trimming of perimeter landscape. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Replant courtyard landscaping and add new hardscape to substitute for grass	0-3 years	3-5 years	5-10 years	not needed
	Repave surface lots	0-3 years	3-5 years	5-10 years	not needed
	<i>Have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future. Estimated cost for the evaluation \$5000-\$7500</i>	0-3 years			
HS-12	Interior Floor Finish Improvements				
	Replace cracked VCT flooring in classroom. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	<i>The floor tile should be removed in the problem areas and the concrete ground to create and flush/ level condition. The crack should be treated with a crack suppression membrane and then the flooring replaced. Area should be monitored for further cracking/ movement. If desired, core borings could be taken to determine the under slab condition so that more extensive repairs could be evaluated. This work could be done by the school or as part of a comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
	Repair any damaged VCT flooring in corridors. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
HS-13	Interior Wall Finish Improvements				
	Inspect and repair crack in boys locker room wall. Fill and paint as necessary. Monitor routinely. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect and repaint CMU and GWB/Plaster walls as necessary. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Inspect and repair/replace damaged finishes as necessary. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES

HIGH SCHOOL

	New painting throughout could be considered to add colors and improved aesthetics. <i>This work could be done by the school or as part of a comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
HS-14	Interior Ceiling Finish Improvements				
	Replace ACT ceiling throughout building. This is typically done in conjunction with a full lighting replacement project.	0-3 years	3-5 years	5-10 years	not needed
	<i>Replace discolored ceiling tiles throughout school (included in scope above)</i>	0-3 years			
	<i>Inspection to determine the cause of water leaking should be performed and the issues corrected. Yearly inspection of ceiling and mechanical systems should be performed, and repairs done, as necessary.</i>	0-3 years			
HS-15	Locker Improvements				
	Ensure lockers meet 5% accessibility requirement	0-3 years	3-5 years	5-10 years	not needed
HS-16	Hazardous Materials				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports. <i>This would be incorporated into an MEP or comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
HS-17	General and Special Education Classroom Improvements				
	Replace existing casework in all classrooms. Not critical but can be grouped with creating ADA accessible approaches to classroom sinks. <i>This is something that is typically included in a comprehensive renovation project as an alternate bid to determine if it can be included in the project after bids.</i>	0-3 years	3-5 years	5-10 years	not needed
HS-18	Science Classroom Improvements				
	All science classrooms should be renovated with new casework, equipment, and furniture for a modern teaching layout.	0-3 years	3-5 years	5-10 years	not needed
HS-19	Computer Classroom Improvements				
	Purchase and provide appropriate E-Sports equipment to fill the existing unused computer classroom. Finishes and furniture can also be updated at this time for a modern look.	0-3 years	3-5 years	5-10 years	not needed
HS-20	Music/Band Room Improvements				
	Reorganize and purge any unwanted material. Buy extra storage as needed to free practice rooms from storage. Add visibility to practice	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES

HIGH SCHOOL

	Complete renovation of the band suite. This would include new casework, storage and finishes. Practice rooms can be redesigned for the district's standards or omitted from the project.	0-3 years	3-5 years	5-10 years	not needed
HS-21	Library				
	Renovate the existing library to reflect a modern media center. Consolidate books and shelving as necessary. Provide new furniture: soft seating and student work stations. Provide new wall finishes, floor finishes, and lighting.	0-3 years	3-5 years	5-10 years	not needed
HS-22	Gymnasiums				
	Auxiliary gym addition. Approx 4,950 SF. Addition will include a storage room for either the existing weight room or for the new auxiliary gym.	0-3 years	3-5 years	5-10 years	not needed
	Bleacher upgrade in Main Gym. Bleachers would have acrylic seats, handrails, wheelchair seating area and motorized operation.	0-3 years	3-5 years	5-10 years	not needed
	Provide wall protection at all exposed walls	0-3 years	3-5 years	5-10 years	not needed
	Add acoustic wall paneling to at least 30% of the available wall surface.	0-3 years	3-5 years	5-10 years	not needed
HS-23	Art Room				
	Replace existing casework with a new for a more efficient layout. Replace existing fixtures at this time.	0-3 years	3-5 years	5-10 years	not needed
HS-24	Cafeteria				
	Cafeteria must provide at least 5% accessible seating. Delineate appropriate number of table/ booths as ADA accessible and provide necessary spacing and approach requirements.	0-3 years	3-5 years	5-10 years	not needed
HS-25	Auditorium				
	Replace existing seating systems. Replace finishes at this time as necessary.	0-3 years	3-5 years	5-10 years	not needed
	Replace stage and house sound system.	0-3 years	3-5 years	5-10 years	not needed
HS-26	Tech Ed Rooms				
		0-3 years	3-5 years	5-10 years	not needed
HS-HVAC	HVAC Systems. <i>This would be included in a comprehensive MEP upgrade project.</i>				
	Add variable frequency drives to the hot water pumps	0-3 years	3-5 years	5-10 years	not needed
	Replace the unit ventilators due to age or install another type of HVAC system with better efficiency	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES

HIGH SCHOOL

	Replace the condensing units (should this be accomplished the associated unit ventilator would need replaced, as it would not be compatible for the refrigerant that a new condensing unit would use)	0-3 years	3-5 years	5-10 years	not needed
	Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.	0-3 years	3-5 years	5-10 years	not needed
	Replace the outdated roof exhaust fans	0-3 years	3-5 years	5-10 years	not needed
	Revise the make-up air for the toilet rooms so that it is not coming from the corridor	0-3 years	3-5 years	5-10 years	not needed
	Replace B&G flow meters	0-3 years	3-5 years	5-10 years	not needed
	Replace air handlers	0-3 years	3-5 years	5-10 years	not needed

HS-P	Plumbing Systems <i>This would be included in a comprehensive MEP upgrade project.</i>				
	Install additional isolation valves in the hot and cold water systems	0-3 years	3-5 years	5-10 years	not needed
	Review in detail the issues with the sanitary system and what is causing clogs and backups, and repair or replace that is needed to correct that.	0-3 years	3-5 years	5-10 years	not needed
	Repair or replace the storm water piping where leaks have developed	0-3 years	3-5 years	5-10 years	not needed
	Install trap seal guards in floor drains	0-3 years	3-5 years	5-10 years	not needed

HS-E	Electrical, Lighting & Data Systems <i>This would be included in a comprehensive MEP upgrade project.</i>				
	Replace existing switchboard	0-3 years	3-5 years	5-10 years	not needed
	Replace the panelboards throughout the building	0-3 years	3-5 years	5-10 years	not needed
	Add a second transfer switch to meet code	0-3 years	3-5 years	5-10 years	not needed
	Add fire alarm strobes in restrooms and classrooms to meet code. This might require replacement of the main fire alarm panel.	0-3 years	3-5 years	5-10 years	not needed
	Replace existing lighting throughout the building with LED lighting, low voltage controls, and occupancy sensors	0-3 years	3-5 years	5-10 years	not needed
	Add ground fault circuit interrupter receptacles where required by code	0-3 years	3-5 years	5-10 years	not needed
	Upgrade clock system throughout school	0-3 years	3-5 years	5-10 years	not needed
	Upgrade phone and paging system throughout school	0-3 years	3-5 years	5-10 years	not needed

IMPROVEMENT PRIORITIES

STADIUM

STADIUM COMPLEX

		SHORT TERM	MID TERM	LONG TERM	NOT NEEDED
S-1	Accessible Parking and Accessible Route Changes				
	ADA spots clearly marked with linework and signage				
	<i>Repaint existing parking spaces and numbers as required with the completion of repaving the ADA lot. This would be incorporated into a group paving project with all High School lots.</i>	0-3 years	3-5 years	5-10 years	not needed
S-2	Toilet Room Accessibility Upgrades				
	Group toilet room renovations (grab bars and accessories) This would be done as part of a comprehensive renovation project to comply with the accessibility update requirements				
	<i>Add pipe protection at exposed sinks</i>	0-3 years	3-5 years	5-10 years	not needed
	<i>Add vertical grab bars to toilet stalls</i>	0-3 years	3-5 years	5-10 years	not needed
	<i>Check mounting heights of all toilet room fixtures</i>	0-3 years	3-5 years	5-10 years	not needed
S-3	All Concession and Ticketing Accessibility Upgrades				
	Ticketing and Concession windows should be evaluated for accessible reach ranges. Counter should meet today's code of 2' - 10". District could evaluate the existing condition on their own.	0-3 years	3-5 years	5-10 years	not needed
S-4	Signage Upgrades				
	Replace or provide new code compliant signage. This work can be done by the school or included in a comprehensive project to comply with the accessibility update requirements				
	<i>Provide tactile signage at all doors and exits</i>	0-3 years	3-5 years	5-10 years	not needed
	<i>Relocate toilet room signage from face of door to appropriate position, provide tactile signage at toilet rooms</i>	0-3 years	3-5 years	5-10 years	not needed
S-5	Exterior Finish Improvements The exterior envelope should be addressed in the short term to maintain a safe and water tight condition				
	Repaint mortar joints as necessary	0-3 years	3-5 years	5-10 years	not needed
	Clean and seal masonry surfaces as necessary	0-3 years	3-5 years	5-10 years	not needed
	Recaulk joints as necessary	0-3 years	3-5 years	5-10 years	not needed
S-6	Site Improvements				
	Repair miscellaneous broken/ cracked concrete and concrete curbs. This work can be performed by the school.	0-3 years	3-5 years	5-10 years	not needed
	Repave surface lots	0-3 years	3-5 years	5-10 years	not needed
	<i>Have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future. Estimated cost for the evaluation \$5000-\$7500</i>				

IMPROVEMENT PRIORITIES

STADIUM

	Coordinate with structural engineer on the feasibility of installing center aisle handrails at all grandstand stairs.	0-3 years	3-5 years	5-10 years	not needed
S-7	Interior Finish Improvements				
	Inspect and repair CMU and GWB/Plaster walls as necessary. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
	Reorganize the band concession building and add storage as necessary. Multiple instances of items on top of MEP equipment. <i>This work can be performed by the school.</i>	0-3 years	3-5 years	5-10 years	not needed
S-8	Hazardous Materials				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports. <i>This would be incorporated into an MEP or comprehensive renovation project</i>	0-3 years	3-5 years	5-10 years	not needed
S-9	Kitchen				
	<i>Scope will be determined after discussions with the Principals</i>	0-3 years	3-5 years	5-10 years	not needed
S- HVAC	HVAC Systems. <i>This would be included in a comprehensive MEP upgrade project.</i>				
	Add hood exhaust over cooking appliances at the band concession building	0-3 years	3-5 years	5-10 years	not needed
S-P	Plumbing Systems <i>This would be included in a comprehensive MEP upgrade project.</i>				
	Add a domestic hot water system for hand washing if not present at the toilet room building	0-3 years	3-5 years	5-10 years	not needed
S-E	Electrical, Lighting & Data Systems <i>This would be included in a comprehensive MEP upgrade project.</i>				
	Replace main electrical panel in the toilet room building	0-3 years	3-5 years	5-10 years	not needed
	Replace the existing light fixtures in the toilet room building with LED light fixtures	0-3 years	3-5 years	5-10 years	not needed
	Add GFCI receptacles to damp locations at the ticketing and concession building	0-3 years	3-5 years	5-10 years	not needed

PROBABLE COST ESTIMATES

HW GOOD ELEMENTARY

HW GOOD ELEMENTARY

		A - LOW RANGE		B -HIGH RANGE	
HWG-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work) (Assume 3 ADA stalls)	\$114.3 / Stall	\$343	\$150 / Stall	\$450
	Repaint existing parking spaces and numbers (District typically self performs this work) (Assume 50 stalls)	\$13.25 / Stall	\$663	\$20 / Stall	\$1,000
	TOTAL PARKING MODIFICATIONS		\$1,005		\$1,450
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,206		\$1,740

		A - LOW RANGE		B -HIGH RANGE	
HWG-2	Toilet Room Accessibility Upgrades				
	Group Toilet room upgrades (including partitions, grab bars and accessories) (Assume 4 group toilet rooms, which includes 2 male and 2 female rooms)	\$61,000 / 1 Male and 1 Female Group	\$122,000	\$77,000 / 1 Male and 1 Female Group	\$154,000
	Add pipe protection at exposed sinks				
	Add/ replace accessible stalls where not provided by code				
	Confirm mounting height requirements for toilet accessories				
	Remove sinks, relocate dispensers, and add vertical grab bars for toilet stalls				
	Single Toilet Room ADA upgrades (Assume 15 single user toilet rooms)	\$261 / Room	\$3,915	\$300 / Room	\$4,500
	TOTAL TOILET ROOM MODIFICATIONS		\$125,915		\$158,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$151,098		\$190,200

		A - LOW RANGE		B -HIGH RANGE	
HWG-3	Door and Hardware Upgrades				
	Replace door handle hardware (Assume 70 doors, we are assuming to replace all existing door hardware at this time. This number may change as project scope is further defined) Re-keying is included in this scope.	\$198 / EA	\$13,860	\$250 / EA	\$17,500
	TOTAL DOOR AND HARDWARE MODIFICATIONS		\$13,860		\$17,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$16,632		\$21,000

		A - LOW RANGE		B -HIGH RANGE	
HWG-4	Signage Upgrades				
	Interior signage (Assume 85 signs are required)	\$118 / EA	\$10,030	\$130 / EA	\$11,050
	Provide exterior wayfinding signage at all secondary entrance doors directing visitors to Main Entrance. (Assume 10 doors)	\$118 / EA	\$1,180	\$130 / EA	\$1,300
	TOTAL SIGNAGE MODIFICATIONS		\$11,210		\$12,350
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$13,452		\$14,820

PROBABLE COST ESTIMATES

HW GOOD ELEMENTARY

HWG-5	Casework Accessibility Upgrades				
	Replace casework in general classrooms to provide required wheelchair approach (Only one sink casework will need modified for ADA access, but the entire room casework could be upgraded) (Assume one work station is being modified for Wheelchair access in each room) Included in renovated costs below	see below	see below	see below	see below
	Replace casework in Art classrooms to provide required wheelchair approach (Assume one work station will need modified for ADA access, but the entire room casework could be upgraded) Included in renovated costs below	see below	see below	see below	see below

HWG-6	Secure Entrance Modifications				
	Provide Additional surveillance control systems to exterior doors. (Assume 3 cameras).	\$150 / EA	\$450	\$500 / EA	\$1,500
	TOTAL EGRESS PATH MODIFICATIONS		\$450		\$1,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$540		\$1,800

HWG-7	Exterior Finish Improvements				
	Remove and replace any displaced or damaged brick	allowance	\$10,000	allowance	\$20,000
	Repoint mortar joints as necessary	allowance	\$10,000	allowance	\$10,000
	Clean and seal masonry surfaces (Assume 29,000 SF)	\$2 / SF	\$58,000	\$4 / SF	\$116,000
	Recaulk joints (Assume 10,000 LF)	\$2 / LF	\$20,000	\$2.50 / LF	\$25,000
	TOTAL EXTERIOR FINISH MODIFICATIONS		\$98,000		\$171,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$117,600		\$205,200

HWG-8	Exterior Doors/Windows				
	Replace broken or missing window screens as necessary (school will perform this work)		no cost included		no cost included
	Inspect frames for damage, paint as necessary (school will perform this work)		no cost included		no cost included
	Clean and repaint chalking exterior doors and frames (Assume 10 doors) (School will perform this work)	\$100/door	\$1,000	\$150/door	\$1,500

HWG-9	Roofing Improvements				
	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary		no cost included		no cost included

HWG-10	Site Improvements				
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PROBABLE COST ESTIMATES

HW GOOD ELEMENTARY

	Repair miscellaneous broken/ cracked concrete and concrete curbs (Assume 150 LF)	\$13 / LF	\$1,950	\$18 / LF	\$2,700
	Installation of a "frost-free" slab at all exterior doors (Assume 42.5 SF at each exterior door. Assume new slab at 7 exterior doors. Total SF: 297.5 SF)	\$9 / SF	\$2,678	\$15 / SF	\$4,463
	Create new canopy/ shaded areas for playgrounds	allowance	\$12,500	allowance	\$20,000
	Fill playgrounds with new mulch (Assume 5,290 SF or approx 588 SY)	\$30 / SY	\$17,640	\$150 / SY	\$88,200
	Replant garden landscaping (small scale landscaping: Assume 10 shrubs)	\$92 / EA	\$920	\$100 / EA	\$1,000
	Repave surface lots (Assume 28,000 SF or approx 3,111 SY)	\$45 / SY	\$139,995	\$65 / SY	\$202,215
	<i>Have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future.</i>				
	TOTAL SITE MODIFICATIONS		\$175,683		\$318,578
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$210,819		\$382,293

HWG-11	Interior Floor Finish Improvements				
	Replace cracked or damaged VCT flooring in classroom (Assume 700 SF / classroom for a complete classroom replacement) (Total will represent the cost of 1 classroom)	\$7.5 / SF	\$5,250	\$10 / SF	\$7,000
	Repair any damaged VCT flooring in corridors (Assume 100 SF)	\$7.5 / SF	\$750	\$10 / SF	\$1,000
	TOTAL INTERIOR FLOOR FINISH MODIFICATIONS		\$6,000		\$8,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$7,200		\$9,600

HWG-12	Interior Wall Finish Improvements				
	Inspect and repaint CMU and GWB/Plaster walls as necessary		no cost included		no cost included
	Inspect and repair/replace damaged finishes as necessary		no cost included		no cost included
	New painting throughout could be considered to add colors and improved aesthetics		no cost included		no cost included

HWG-13	Interior Ceiling Finish Improvements				
	Replace ACT ceiling throughout building. This is typically done in conjunction with a full lighting replacement project. (Assume 40,000 SF)	\$9.8 / SF	\$392,000	\$15 / SF	\$600,000
	TOTAL INTERIOR CEILING FINISH MODIFICATIONS		\$392,000		\$600,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$470,400		\$720,000

PROBABLE COST ESTIMATES

HW GOOD ELEMENTARY

HWG-14	Locker Improvements				
	Change current classroom closet storage to student cubby storage, add additional teacher storage. (Assume 20 student cubbies/ classroom. Total: 320 cubbies)	\$182 / EA	\$58,240	\$225 / EA	\$72,000
	<i>A larger scale option includes renovations to hallway to include student lockers. (Assume 20 lockers/ general classroom. Total : 320 lockers)</i>	\$160 / EA	\$51,200	\$200 / EA	\$64,000
	TOTAL LOCKER MODIFICATIONS		\$109,440		\$136,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$131,328		\$163,200

HWG-15	Hazardous Materials Concerns				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports	no cost included		no cost included	

HWG-16	General and Special Education Classroom Improvements				
	Replace existing casework in all classrooms. Total: 700 LF (Assume 20 classrooms and 35 LF of area/ classroom)	\$82 / LF	\$57,400	\$100 / LF	\$70,000
	TOTAL CLASSROOM MODIFICATIONS		\$57,400		\$70,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$68,880		\$84,000

HWG-17	Computer Classroom Improvements				
	No cost included at this time				

HWG-18	Music/Band Room Improvements				
	No cost included at this time				

HWG-19	Library				
	No cost included at this time				

HWG-20	Multi-Purpose				
	Provide additional acoustic wall panels for sound absorption (Assume 200 SF)	\$15 / SF	\$3,000	\$25 / SF	\$5,000
	Provide new stage curtain	allowance	\$15,000	allowance	\$20,000
	TOTAL IMPROVEMENTS		\$18,000		\$25,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$21,600		\$30,000

PROBABLE COST ESTIMATES
HW GOOD ELEMENTARY

HWG-21	Art Room				
	No cost included at this time				

HWG-22	Kitchen				
	No cost included at this time				

HWG-HVAC	HVAC Systems				
	Replace hot water piping that remained from the original building construction	unit cost	\$289,000	unit cost	\$289,000
	Add variable frequency drives to the hot water pumps	unit cost	\$19,000	unit cost	\$19,000
	Replace the unit ventilators due to age or install another type of HVAC system with better efficiency	unit cost	\$291,000	unit cost	\$291,000
	Replace the condensing units (should this be accomplished, the associated unit ventilator would need replaced as it would not be compatible with the refrigerant that a new condensing unit would use)	unit cost	\$27,000	unit cost	\$27,000
	Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.	unit cost	\$320,000	unit cost	\$320,000
	Replace the outdated roof exhaust fans	unit cost	\$96,000	unit cost	\$96,000
	Replace the air handling units serving the Multi-Purpose Room and Library	unit cost	\$68,000	unit cost	\$68,000
	Revise the make-up air for the toilet rooms so that it is not coming from the corridor	unit cost	\$42,000	unit cost	\$42,000
	Replace leaking B&G flow regulators	unit cost	\$12,000	unit cost	\$12,000
	TOTAL HVAC IMPROVEMENTS		\$1,164,000		\$1,164,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,396,800		\$1,396,800

HWG-P	Plumbing Systems				
	Replace the domestic piping that remained from the original construction of the building	unit cost	\$278,000	unit cost	\$278,000
	Replace the sanitary and storm piping that remained from the original construction of the building	unit cost	\$252,000	unit cost	\$252,000
	Install trap seal guards in floor drains	unit cost	\$34,000	unit cost	\$34,000
	TOTAL PLUMBING IMPROVEMENTS		\$564,000		\$564,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$676,800		\$676,800

HWG-E	Electrical, Lighting & Data Systems				
	Replace the existing switchboard	Unit cost	\$160,000	unit cost	\$160,000
	Replace the panelboards throughout the building	Unit cost	\$188,000	unit cost	\$188,000
	Replace the emergency generator. Add a second transfer switch to meet code.	Unit cost	\$80,000	unit cost	\$80,000

PROBABLE COST ESTIMATES

HW GOOD ELEMENTARY

Replace the main fire alarm panel. Add fire alarm strobes in restrooms and classrooms to meet code.	unit cost	\$149,000	unit cost	\$149,000
Replace the existing lighting throughout the school with LED lighting and low voltage controls	unit cost	\$450,000	unit cost	\$450,000
Add ground fault circuit interrupter receptacles where required by today's code	unit cost	\$12,000	unit cost	\$12,000
Upgrade clock system and wiring throughout school	unit cost	\$53,000	unit cost	\$53,000
TOTAL ELECTRICAL IMPROVEMENTS		\$1,092,000		\$1,092,000
PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,310,400		\$1,310,400

New Parking Area for New Entrance				
New asphalt paving for new parking lot. Includes fine grading, sub-base preparation, 8" crushed stone base, 4" binder course, 1 1/2" wearing course. (Assume 15,000 SF or approx 1,667 SY)	\$45 / SY	\$75,015	\$65 / SY	\$108,355
New Sidewalks at new parking lot. (Assume 300 SF)	\$8.5 / SF	\$2,550	\$15 / SF	\$4,500
New asphalt wedge curbs, machine formed (Assume 315 LF)	\$13 / LF	\$4,095	\$18 / LF	\$5,670
New line painting (Assume 50 stalls)	\$13.25 / Stall	\$663	\$20 / Stall	\$1,000
TOTAL NEW PARKING LOT IMPROVEMENTS		\$82,323		\$119,525
PROJECT COST (INCLUDING 20% SOFT COSTS)		\$98,787		\$143,430

Classroom Wing and Gymnasium Addition				
Classroom wing addition (Assume 13,000 SF)	\$350 / SF	\$4,550,000	\$400 / SF	\$5,200,000
Gymnasium addition (Assume 3,000 SF)	\$350 / SF	\$1,050,000	\$400 / SF	\$1,200,000
Music Room Addition (Assume 1,000 SF)	\$350 / SF	\$350,000	\$400 / SF	\$400,000
TOTAL ADDITION		\$5,950,000		\$6,800,000
PROJECT COST (INCLUDING 20% SOFT COSTS)		\$7,140,000		\$8,160,000

		Low Range		High Range
HW GOOD COSTS		\$9,861,285		\$11,259,403
PROJECT COST (INCLUDING 20% SOFT COSTS)		\$11,833,542		\$13,511,283

PROBABLE COST ESTIMATES

MENDON ELEMENTARY

MENDON ELEMENTARY

		A - LOW RANGE		B -HIGH RANGE	
M-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work) (Assume 4 ADA stalls)	\$114.3 / Stall	\$457	\$150 / Stall	\$600
	Repaint existing parking spaces and numbers (District typically self performs this work) (Assume 65 stalls)	\$13.25 / Stall	\$861	\$20 / Stall	\$1,300
	TOTAL PARKING MODIFICATIONS		\$1,318		\$1,900
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,582		\$2,280

		A - LOW RANGE		B -HIGH RANGE	
M-2	Toilet Room Accessibility Upgrades				
	Group Toilet room upgrades (including partitions, grab bars and accessories) (Assume 4 group toilet rooms, which includes 2 male and 2 female rooms)	\$61,000 / 1 Male and 1 Female Group	\$122,000	\$77,000 / 1 Male and 1 Female Group	\$154,000
	Add pipe protection at exposed sinks				
	Add/ replace accessible stalls where not provided by code				
	Confirm mounting height requirements for toilet accessories				
	Remove sinks, relocate dispensers, and add vertical grab bars for toilet stalls				
	Single Toilet Room ADA upgrades (Grab Bars) (Assume 15 single user toilet rooms)	\$261 / Room	\$3,915	\$300 / Room	\$4,500
	TOTAL TOILET ROOM MODIFICATIONS		\$125,915		\$158,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$151,098		\$190,200

		A - LOW RANGE		B -HIGH RANGE	
M-3	Door and Hardware Upgrades				
	Replace door handle hardware (Assume 70 doors, we are assuming to replace all existing door hardware at this time. This number may change as project scope is further defined) Re-keying is included in this scope.	\$198 / EA	\$13,860	\$250 / EA	\$17,500
	TOTAL DOOR AND HARDWARE MODIFICATIONS		\$13,860		\$17,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$16,632		\$21,000

		A - LOW RANGE		B -HIGH RANGE	
M-4	Signage Upgrades				
	Interior signage (Assume 85 signs are required)	\$118 / EA	\$10,030	\$130 / EA	\$11,050
	Provide exterior wayfinding signage at all secondary entrance doors directing visitors to Main Entrance. (Assume 13 doors)	\$118 / EA	\$1,534	\$130 / EA	\$1,690
	TOTAL SIGNAGE MODIFICATIONS		\$11,564		\$12,740
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$13,877		\$15,288

		A - LOW RANGE		B -HIGH RANGE	
M-5	Casework Accessibility Upgrades				

PROBABLE COST ESTIMATES

MENDON ELEMENTARY

	Replace casework in general classrooms to provide required wheelchair approach (Only one sink casework will need modified for ADA access, but the entire room casework could be upgraded) (Assume one work station is being modified for Wheelchair access in each room)	Not included at this time			
	Replace casework in Art classrooms to provide required wheelchair approach (Assume one work station will need modified for ADA access, but the entire room casework could be upgraded)	Not included at this time			

M-6	Secure Entrance Modifications				
	No work recommended				

M-7	Exterior Finish Improvements				
	Remove and replace any displaced or damaged brick	allowance	\$10,000	allowance	\$20,000
	Repoint mortar joints as necessary	allowance	\$10,000	allowance	\$10,000
	Clean and seal masonry surfaces (Assume 34,000 SF)	\$2 / SF	\$68,000	\$4 / SF	\$136,000
	Recalk joints (Assume 15,000 LF)	\$2 / LF	\$30,000	\$2.50 / LF	\$37,500
	TOTAL EXTERIOR FINISH MODIFICATIONS		\$118,000		\$203,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$141,600		\$244,200

M-8	Exterior Doors/Windows				
	Replace broken or missing window screens as necessary (District typically self performs this work)		no cost included		no cost included
	Inspect frames for damage, paint as necessary (District typically self performs this work)		no cost included		no cost included

M-9	Roofing Improvements				
	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary		no cost included		no cost included

M-10	Site Improvements				
	Repair miscellaneous broken/ cracked concrete and concrete curbs (Assume 300 LF)	\$13.00 / LF	\$3,900	\$18.00 / LF	\$5,400
	Repair or replace entrance canopies	allowance	\$100,000	allowance	\$125,000
	<i>Repaint canopy underside and structure for cosmetic upgrades. Replace roof system and rework drainage system to account for correct drainage slope.</i>				
	Routine maintenance and landscaping of courtyard (District typically self performs this work)		no cost included		no cost included
	Repave surface lots (Assume 22,145 SF or approx. 2460 SY)	\$45 / SY	\$110,700	\$65 / SY	\$159,900

PROBABLE COST ESTIMATES

MENDON ELEMENTARY

	<i>Have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future.</i>				
	TOTAL SITE MODIFICATIONS		\$214,600		\$290,300
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$257,520		\$348,360

M-11	Interior Floor Finish Improvements				
	Replace cracked or damaged VCT flooring in classroom (Assume 765 SF / classroom for a complete classroom replacement) (Total will represent the cost of 1 classroom)	\$7.5 / SF	\$2,295	\$10 / SF	\$3,825
	Repair any damaged VCT flooring in corridors (Assume 100 SF)	\$7.5 / SF	\$750	\$10 / SF	\$1,000
	Inspect floor base shifting and settling for further movement		no cost included		no cost included
	<i>Shifting does not appear to be an immediate structural concern. Meet with a structural engineer to determine what is causing the movement and cracking finishes. Repair and fill cracks as necessary.</i>				
	TOTAL INTERIOR FLOOR FINISH MODIFICATIONS		\$3,045		\$4,825
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$3,654		\$5,790

M-12	Interior Wall Finish Improvements				
	Inspect and repaint CMU and GWB/Plaster walls as necessary (District typically self performs this work)		no cost included		no cost included
	Inspect and repair/replace damaged finishes as necessary (District typically self performs this work)		no cost included		no cost included
	New painting throughout could be considered to add colors and improved aesthetics (District typically self performs this work)		no cost included		no cost included

M-13	Interior Ceiling Finish Improvements				
	Replace ACT ceiling throughout building. This is typically done in conjunction with a full lighting replacement project. (Assume 48,600 SF)	\$9.8 / SF	\$476,280	\$15 / SF	\$729,000
	TOTAL INTERIOR CEILING FINISH MODIFICATIONS		\$476,280		\$729,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$571,536		\$874,800

M-14	Locker Improvements				
	Change current classroom closet storage to student cubby storage, add additional teacher storage. (Assume 20 student cubbies/ classroom. Total: 320 cubbies)	\$182 / EA	\$58,240	\$225 / EA	\$72,000
	<i>A larger scale option includes renovations to hallway to include student lockers. (Assume 20 lockers/ general classroom. Total : 320 lockers)</i>	\$160 / EA	\$51,200	\$200 / EA	\$64,000

PROBABLE COST ESTIMATES

MENDON ELEMENTARY

TOTAL LOCKER MODIFICATIONS	\$109,440	\$136,000
PROJECT COST (INCLUDING 20% SOFT COSTS)	\$131,328	\$163,200

M-15	Hazardous Materials Concerns		
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports	no cost included	no cost included

M-16	General and Special Education Classroom Improvements				
	Replace existing casework in all classrooms. Total: 770 LF (Assume 22 classrooms and 35 LF of area/ classroom)	\$82 / LF	\$63,140	\$100 / LF	\$77,000
	TOTAL CLASSROOM MODIFICATIONS		\$63,140		\$77,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$75,768		\$92,400

M-17	Computer Classroom Improvements		
	No cost included at this time		

M-18	Music/Band Room Improvements		
	No cost included at this time		

M-19	Library		
	No cost included at this time		

M-20	Multi-Purpose				
	Provide additional acoustic wall panels for sound absorption (Assume 200 SF)	\$15 / SF	\$3,000	\$25 / SF	\$5,000
	TOTAL ATHLETICS IMPROVEMENTS		\$3,000		\$5,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$3,600		\$6,000

M-21	Art Room		
	No cost included at this time		

M-22	Kitchen		
	No cost included at this time		

M-HVAC	HVAC Systems				
	Add variable frequency drives to the hot water pumps	unit cost	\$19,000	unit cost	\$19,000
	Replace the hot water piping that remains from the original building construction.	unit cost	\$526,000	unit cost	\$526,000
	Replace the unit ventilators due to age or install another type of HVAC system with better efficiency	unit cost	\$330,000	unit cost	\$330,000

PROBABLE COST ESTIMATES

MENDON ELEMENTARY

	Replace the condensing units (should this be accomplished; the associated unit ventilator would need replaced)	unit cost	\$31,000	unit cost	\$31,000
	Replace the Multi-Purpose Room and Library air handling units	unit cost	\$77,000	unit cost	\$77,000
	Replace the corroded cabinet unit heaters, finned tube and convectors.	unit cost	\$49,000	unit cost	\$49,000
	Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.	unit cost	\$350,000	unit cost	\$350,000
	Replace the outdated roof exhaust fans.	unit cost	\$109,000	unit cost	\$109,000
	Revise the make-up air for the toilet rooms so that it is not coming from the corridor.	unit cost	\$48,000	unit cost	\$48,000
	TOTAL HVAC IMPROVEMENTS		\$1,539,000		\$1,539,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,846,800		\$1,846,800

M-P	Plumbing Systems				
	Replace the domestic water piping that is building original.	unit cost	\$505,000	unit cost	\$505,000
	In conjunction with architectural revisions, revise the canopy drainage so it is functional.	unit cost	\$48,000	unit cost	\$48,000
	Repair or replace the storm water piping where leaks have developed.	unit cost	\$168,000	unit cost	\$168,000
	Install trap seal guards in floor drains.	unit cost	\$39,000	unit cost	\$39,000
	Replace some of the water coolers with units that are handicapped accessible.	unit cost	\$43,000	unit cost	\$43,000
	TOTAL PLUMBING IMPROVEMENTS		\$803,000		\$803,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$963,600		\$963,600

M-E	Electrical, Lighting & Data Systems				
	Replace the existing switchboard	unit cost	\$182,000	unit cost	\$182,000
	Replace the panelboards throughout the building	unit cost	\$213,000	unit cost	\$213,000
	Replace the emergency generator and add a second transfer switch to meet code	unit cost	\$97,000	unit cost	\$97,000
	Replace the main fire alarm panel and add fire alarm strobes in restrooms and classrooms to meet code	unit cost	\$170,000	unit cost	\$170,000
	Replace existing lighting throughout the building with LED lighting and low voltage controls including occupancy sensors to meet code	unit cost	\$540,000	unit cost	\$540,000
	Add ground fault circuit interrupter receptacles where required by today's code	unit cost	\$13,200	unit cost	\$13,200
	Revise the clock by replacing units and/or wiring to make the system functional	unit cost	\$60,000	unit cost	\$60,000
	TOTAL ELECTRICAL IMPROVEMENTS		\$1,275,200		\$1,275,200
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,530,240		\$1,530,240

		Low Range	High Range
MENDON COSTS		\$4,757,362	\$5,253,465
PROJECT COST (INCLUDING 20% SOFT COSTS)		\$5,708,835	\$6,304,158

PROBABLE COST ESTIMATES
WEST NEWTON ELEMENTARY

WEST NEWTON ELEMENTARY

		A - LOW RANGE		B -HIGH RANGE	
WN-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work) (Assume 3 ADA stalls)	\$114.3 / Stall	\$343	\$150 / Stall	\$450
	Repaint existing parking spaces and numbers (District typically self performs this work) (Assume 60 stalls)	\$13.25 / Stall	\$795	\$20 / Stall	\$1,200
	TOTAL PARKING MODIFICATIONS		\$1,138		\$1,650
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,365		\$1,980

		A - LOW RANGE		B -HIGH RANGE	
WN-2	Toilet Room Accessibility Upgrades				
	Group Toilet room upgrades (including partitions, grab bars and accessories) (Assume 6 group toilet rooms, which includes 3 male and 3 female rooms)	\$61,000 / 1 Male and 1 Female Group	\$183,000	\$77,000 / 1 Male and 1 Female Group	\$231,000
	Add pipe protection at exposed sinks				
	Add/ replace accessible stalls where not provided by code				
	Confirm mounting height requirements for toilet accessories				
	Remove sinks, relocate dispensers, and add vertical grab bars for toilet stalls				
	Single Toilet Room ADA upgrades (Assume 15 single user toilet rooms)	\$261 / Room	\$3,915	\$300 / Room	\$4,500
	TOTAL TOILET ROOM MODIFICATIONS		\$186,915		\$235,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$224,298		\$282,600

		A - LOW RANGE		B -HIGH RANGE	
WN-3	Door and Hardware Upgrades				
	Replace door handle hardware (Assume 70 doors, we are assuming to replace all existing door hardware at this time. This number may change as project scope is further defined) Re-keying is included in this scope.	\$198 / EA	\$13,860	\$250 / EA	\$17,500
	TOTAL DOOR AND HARDWARE MODIFICATIONS		\$13,860		\$17,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$16,632		\$21,000

		A - LOW RANGE		B -HIGH RANGE	
WN-4	Signage Upgrades				
	Interior signage (Assume 85 signs are required)	\$118 / EA	\$10,030	\$130 / EA	\$11,050
	Provide exterior wayfinding signage at all secondary entrance doors directing visitors to Main Entrance. (Assume 11 doors)	\$118 / EA	\$1,298	\$130 / EA	\$1,430
	TOTAL SIGNAGE MODIFICATIONS		\$11,328		\$12,480
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$13,594		\$14,976

		A - LOW RANGE		B -HIGH RANGE	
WN-5	Casework Accessibility Upgrades				

PROBABLE COST ESTIMATES
WEST NEWTON ELEMENTARY

	Replace casework in general classrooms to provide required wheelchair approach (Only one sink casework will need modified for ADA access but the entire room casework could be upgraded) (Assume one work station is being modified for Wheelchair access in each room) Included in renovated costs below	See Below	See Below	See Below	See Below
	Replace casework in Art classrooms to provide required wheelchair approach (Only one sink station will need modified for ADA access but the entire room casework could be upgraded) Included in renovated costs below	See Below	See Below	See Below	See Below

WN-6	Secure Entrance Modifications				
	No work recommended				

WN-7	Exterior Finish Improvements				
	Remove and replace any displaced or damaged brick	allowance	\$10,000	allowance	\$20,000
	Repoint mortar joints as necessary	allowance	\$10,000	allowance	\$10,000
	Clean and seal masonry surfaces (Assume 20,000 SF)	\$2 / SF	\$40,000	\$4 / SF	\$80,000
	Recalk joints (Assume 10,000 LF)	\$2 / LF	\$20,000	\$2.50 / LF	\$25,000
	TOTAL EXTERIOR FINISH MODIFICATIONS		\$80,000		\$135,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$96,000		\$162,000

WN-8	Exterior Doors/Windows				
	Replace broken or missing window screens as necessary (District typically self performs this work)		no cost included		no cost included
	Inspect frames for damage, paint as necessary (District typically self performs this work)		no cost included		no cost included

WN-9	Roofing Improvements				
	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary		no cost included		no cost included

WN-10	Site Improvements				
	Repair miscellaneous broken/ cracked concrete and concrete curbs (Assume 245 LF)	\$13 / LF	\$3,185	\$18 / LF	\$4,410
	Replace existing playground equipment, landscaping, and replace play areas				
	<i>New Playground Equipment (Pre-K Area)</i>	allowance	\$200,000	allowance	\$300,000
	<i>New Playground Equipment (K-4 Area)</i>	allowance	\$200,000	allowance	\$300,000
	<i>Replant Landscaping: Small Scale (Assume 15 shrubs)</i>	\$92 / EA	\$1,380	\$100 / EA	\$1,500
	<i>Replant Landscaping: Large Scale (Assume 5 trees)</i>	\$340 / EA	\$1,700	\$375 / EA	\$1,875
	<i>Mulch Playground Areas (Assume 147.5 SY for Pre-K. Assume 182 SY for K-4. Total: 329.5 SY)</i>	\$30 / SY	\$9,885	\$150 / SY	\$49,425

PROBABLE COST ESTIMATES
WEST NEWTON ELEMENTARY

	Repave surface lots (Assume 19,760 SF or approx. 2,196 SY)	\$45 / SY	\$98,820	\$65 / SY	\$142,740
	<i>Have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future.</i>				
	TOTAL SITE MODIFICATIONS		\$514,970		\$799,950
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$617,964		\$959,940

WN-11	Interior Floor Finish Improvements				
	Replace cracked or damaged VCT flooring in classroom (Assume 920 SF / classroom)	\$7.5 / SF	\$6,900	\$10 / SF	\$9,200
	Repair any damaged VCT flooring in corridors (Assume 100 SF)	\$7.5 / SF	\$750	\$10 / SF	\$1,000
	TOTAL INTERIOR FLOOR FINISH MODIFICATIONS		\$7,650		\$10,200
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$9,180		\$12,240

WN-12	Interior Wall Finish Improvements				
	Inspect and repaint CMU and GWB/Plaster walls as necessary (District typically self performs this work)		no cost included		no cost included
	Inspect and repair/replace damaged finishes as necessary (District typically self performs this work)		no cost included		no cost included

WN-13	Interior Ceiling Finish Improvements				
	Replace ACT ceiling throughout building. This is typically done in conjunction with a full lighting replacement project. (Assume 50,000 SF)	\$9.8 / SF	\$490,000	\$15 / SF	\$750,000
	TOTAL INTERIOR CEILING FINISH MODIFICATIONS		\$490,000		\$750,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$588,000		\$900,000

WN-14	Locker Improvements				
	Change current classroom closet storage to student cubby storage, add additional teacher storage. (Assume 20 student cubbies/ classroom. Total: 320 cubbies)	\$182 / EA	\$58,240	\$225 / EA	\$72,000
	<i>A larger scale option includes renovations to hallway to include student lockers. (Assume 20 student lockers/ classroom. Total: 320 lockers)</i>	\$160 / EA	\$51,200	\$200 / EA	\$64,000
	TOTAL LOCKER MODIFICATIONS		\$109,440		\$136,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$131,328		\$163,200

PROBABLE COST ESTIMATES
WEST NEWTON ELEMENTARY

WN-15	Hazardous Materials Concerns				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports	no cost included		no cost included	
WN-16	General and Special Education Classroom Improvements				
	Replace existing casework in all classrooms. Total: 468 LF (Assume 18 classrooms and 26 LF of area/ classroom)	\$82 / LF	\$38,376	\$100 / LF	\$46,800
	TOTAL CLASSROOM MODIFICATIONS	\$38,376		\$46,800	
	PROJECT COST (INCLUDING 20% SOFT COSTS)	\$46,051		\$56,160	
WN-17	Music Room Improvements				
	Provide additional acoustic wall panels for sound absorption (Assume 150 SF)	\$15 / SF	\$2,250	\$25 / SF	\$3,750
	TOTAL IMPROVEMENTS	\$2,250		\$3,750	
	PROJECT COST (INCLUDING 20% SOFT COSTS)	\$2,700		\$4,500	
WN-18	Library				
	Full Renovation of the library including furniture, finishes, equipment, and lighting. (Assume renovation stays within original walls of the library: 1958 SF)	\$100 / SF	\$195,800	\$150 / SF	\$293,700
	TOTAL IMPROVEMENTS	\$195,800		\$293,700	
	PROJECT COST (INCLUDING 20% SOFT COSTS)	\$234,960		\$352,440	
WN-19	Multi-Purpose				
	Provide additional acoustic wall panels for sound absorption (Assume 200 SF)	\$15 / SF	\$3,000	\$25 / SF	\$5,000
	TOTAL IMPROVEMENTS	\$3,000		\$5,000	
	PROJECT COST (INCLUDING 20% SOFT COSTS)	\$3,600		\$6,000	
WN-20	Art Room				
	No cost included at this time				
WN-21	Kitchen				
	No cost included at this time				
WN-HVAC	HVAC Systems				

PROBABLE COST ESTIMATES
WEST NEWTON ELEMENTARY

	Replace the hot water piping that remains from the original building construction and the isolation valves throughout the building.	unit cost	\$546,000	unit cost	\$546,000
	Replace the unit ventilators due to age or install another type of HVAC system with better efficiency.	unit cost	\$343,000	unit cost	\$343,000
	Replace the condensing units (should this be accomplished; the associated unit ventilator would need replaced)	unit cost	\$32,000	unit cost	\$32,000
	Replace the Multi-Purpose Room and Library air handling units. Replace the condensing unit associated with the Library.	unit cost	\$80,000	unit cost	\$80,000
	Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.	unit cost	\$360,000	unit cost	\$360,000
	Replace the outdated roof exhaust fans.	unit cost	\$113,000	unit cost	\$113,000
	Revise the make-up air for the toilet rooms so that it is not coming from the corridor.	unit cost	\$50,000	unit cost	\$50,000
	Install ventilation/exhaust for the emergency generator.	unit cost	\$16,800	unit cost	\$16,800
	TOTAL HVAC IMPROVEMENTS		\$1,540,800		\$1,540,800
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,848,960		\$1,848,960

WN-P	Plumbing Systems				
	Replace the domestic piping that is building original	unit cost	\$591,000	unit cost	\$591,000
	Replace the sanitary piping that is building original	unit cost	\$472,000	unit cost	\$472,000
	Replace the quantity of lavatories, urinals and water coolers to meet handicapped requirements	unit cost	\$60,000	unit cost	\$60,000
	Install trap seal guards in floor drains	unit cost	\$41,000	unit cost	\$41,000
	TOTAL PLUMBING IMPROVEMENTS		\$1,164,000		\$1,164,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,396,800		\$1,396,800

WN-E	Electrical, Lighting & Data Systems				
	Replace the existing switchboards	unit cost	\$189,000	unit cost	\$189,000
	Replace the panelboards throughout the building	unit cost	\$222,000	unit cost	\$222,000
	Add a second transfer switch to meet code	unit cost	\$14,400	unit cost	\$14,400
	Replace the main fire alarm panel and add fire alarm strobes in restrooms and classrooms to meet code	unit cost	\$176,000	unit cost	\$176,000
	Replace the existing lighting throughout the building with LED lighting and low voltage controls including occupancy sensors	unit cost	\$550,000	unit cost	\$550,000
	Add ground fault circuit interrupter receptacles where required by today's code	unit cost	\$13,200	unit cost	\$13,200
	Revise the clock system by replacing units and/or wiring to make the system functional	unit cost	\$63,000	unit cost	\$63,000
	TOTAL ELECTRICAL IMPROVEMENTS		\$1,227,600		\$1,227,600
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,473,120		\$1,473,120

		Low Range	High Range
WEST NEWTON COSTS		\$5,587,127	\$6,379,930
PROJECT COST (INCLUDING 20% SOFT COSTS)		\$6,704,552	\$7,655,916

PROBABLE COST ESTIMATES

INTERMEDIATE MIDDLE

INTERMEDIATE MIDDLE SCHOOL

		A - LOW RANGE		B -HIGH RANGE	
IM-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work) (Assume 3 ADA stalls)	\$114.3 / Stall	\$343	\$150 / Stall	\$450
	Repaint existing parking spaces and numbers (District typically self performs this work) (Assume 130 stalls)	\$13.25 / Stall	\$1,723	\$20 / Stall	\$2,600
	TOTAL PARKING MODIFICATIONS		\$2,065		\$3,050
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$2,478		\$3,660

		A - LOW RANGE		B -HIGH RANGE	
IM-2	Toilet Room Accessibility Upgrades				
	Group Toilet room upgrades (grab bars) (Assume 12 group toilet room, which includes 6 male and 6 female rooms)	\$425 / 1 Male and 1 Female Group	\$2,550	\$700 / 1 Male and 1 Female Group	\$4,200
	Add pipe protection at exposed sinks				
	Add vertical grab bars for toilet stalls				
	Locker room reconfigurations (grab bars and shower fixtures) (Assume 2 locker rooms)	\$287 / Room	\$574	\$500 / Room	\$1,000
	Single Toilet Room ADA upgrades (grab bars) (Assume 12 single user toilet rooms)	\$87 / room	\$1,044	\$100 / Room	\$1,200
	TOTAL TOILET ROOM MODIFICATIONS		\$4,168		\$6,400
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$5,002		\$7,680

		A - LOW RANGE		B -HIGH RANGE	
IM-3	Door and Hardware Upgrades				
	No work recommended				

		A - LOW RANGE		B -HIGH RANGE	
IM-4	Signage Upgrades				
	No work recommended				

		A - LOW RANGE		B -HIGH RANGE	
IM-5	Casework Accessibility Upgrades				
	Replace sink casework in Family Consumer Science classroom to provide required wheelchair approach (Only one kitchen station will need modified for ADA access but the entire casework could be upgraded) (Assume 100 lf of base cabinet, 75lf of wall cabinet and 100lf of counter top) Included in renovated costs below	See below	See below	See below	See below
	Replace casework in Science classrooms to provide required wheelchair approach (Only one work station will need modified for ADA access but the entire room casework could be upgraded) (Assume one work station is being modified for Wheelchair access in each room) Included in renovated costs below	See below	See below	See below	See below

PROBABLE COST ESTIMATES

INTERMEDIATE MIDDLE

	Replace casework in Art classrooms to provide required wheelchair approach (Only one sink casework will need modified for ADA access but the entire room casework could be upgraded)		See below	See below	See below	See below
IM-6	Egress Path Corrections					
	No work recommended					
IM-7	Secure Entrance Modifications					
	No work recommended					
IM-8	Exterior Finish Improvements					
	Remove and replace any displaced or damaged brick	allowance	\$10,000	allowance	\$20,000	
	Repoint mortar joints as necessary	allowance	\$10,000	allowance	\$10,000	
	Clean and seal masonry surfaces (Assume 65,000 SF)	\$2 / SF	\$130,000	\$4 / SF	\$260,000	
	Recalk joints (Assume 20,000 LF)	\$2 / LF	\$40,000	\$2.50 / LF	\$50,000	
	TOTAL EXTERIOR FINISH MODIFICATIONS		\$190,000		\$340,000	
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$228,000		\$408,000	
IM-9	Exterior Doors/Windows					
	Inspect door and window frames for damage, paint as necessary (District typically self performs this work)		no cost included		no cost included	
	Inspect door panels for fading and damage, paint as necessary (District typically self performs this work)		no cost included		no cost included	
	Inspect and replace broken glass (District typically self performs this work)		no cost included		no cost included	
IM-10	Roofing Improvements					
	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary		no cost included		no cost included	
IM-11	Site Improvements					
	Repair miscellaneous broken/ cracked concrete and concrete curbs (Assume 100 LF)	\$13 / LF	\$1,300	\$18 / LF	\$1,800	
	Routine Maintenance and trimming of perimeter landscape		no cost included		no cost included	
	Replace or repair front electric signage	\$2,000 / EA	\$2,000	\$10,000 / EA	\$10,000	
	Routine maintenance to courtyard landscape		no cost included		no cost included	
	TOTAL SITE MODIFICATIONS		\$3,300		\$11,800	
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$3,960		\$14,160	
IM-12	Interior Floor Finish Improvements					

PROBABLE COST ESTIMATES

INTERMEDIATE MIDDLE

	Replace cracked and worn VCT flooring in classroom (Assume 785 SF for full typical classroom replacement)	\$7.5 / SF	\$5,888	\$10 / SF	\$7,850
	Repair any damaged VCT flooring in corridors (Assume 200 SF)	\$7.5 / SF	\$1,500	\$10 / SF	\$2,000
	TOTAL INTERIOR FLOOR FINISH MODIFICATIONS		\$7,388		\$9,850
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$8,865		\$11,820

IM-13	Interior Wall Finish Improvements				
	Inspect and repair cracks near cafeteria. Fill and paint as necessary. Monitor routinely. (District typically self performs this work)		no cost included		no cost included
	Inspect and repair corridor wall bases for shifting or settling. Routine inspection required. (District typically self performs this work)		no cost included		no cost included
	Inspect and repaint CMU and GWB/Plaster walls as necessary (District typically self performs this work)		no cost included		no cost included
	Inspect and repair/replace damaged finishes as necessary (District typically self performs this work)		no cost included		no cost included

IM-14	Interior Ceiling Finish Improvements				
	Replace discolored ACT ceiling throughout building as needed. (Assume 1,000 SF)	\$9.8 / SF	\$9,800	\$15 / SF	\$15,000
	TOTAL INTERIOR CEILING FINISH MODIFICATIONS		\$9,800		\$15,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$11,760		\$18,000

IM-15	Locker Improvements				
	Ensure lockers meet 5% accessibility requirement		no cost included		no cost included

IM-16	Hazardous Materials Concerns				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports		no cost included		no cost included

IM-17	General and Special Education Classroom Improvements				
	No work recommended				

IM-18	Computer Classroom Improvements				
	No work recommended				

IM-19	Music/Band Room Improvements				
	No work recommended				

IM-20	Library				
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PROBABLE COST ESTIMATES
INTERMEDIATE MIDDLE

	No work recommended				
IM-21	Gymnasiums				
	No work recommended				
IM-22	Art Room				
	No work recommended				
IM-23	Cafeteria				
	No work recommended				
IM-24	Kitchen				
	No work recommended				
IM-25	Auditorium				
	Replace stage lights to LED fixtures	allowance	\$20,000	allowance	\$30,000
	TOTAL IMPROVEMENTS		\$20,000		\$30,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$24,000		\$36,000
IM-26	Tech Ed Rooms				
	No work recommended				
IM-HVAC	HVAC Systems				
	Replace boilers	unit cost	\$797,000	unit cost	\$797,000
	Replace packaged roof top units	unit cost	\$1,100,000	unit cost	\$1,100,000
	TOTAL HVAC IMPROVEMENTS		\$1,897,000		\$1,897,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$2,276,400		\$2,276,400
IM-P	Plumbing Systems				
		unit cost		unit cost	
	TOTAL PLUMBING IMPROVEMENTS		\$0		\$0
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$0		\$0
IM-E	Electrical, Lighting & Data Systems				
	Replace the main fire alarm panel	Unit cost	\$93,000	unit cost	\$93,000
	Replace metal halide fixture at building entrances that are currently not well lit.	Unit cost	\$79,000	unit cost	\$79,000
	Replace the existing lighting throughout the building with LED lighting and low voltage controls including occupancy sensors.	Unit cost	\$1,400,000	unit cost	\$1,400,000
	TOTAL ELECTRICAL IMPROVEMENTS		\$1,572,000		\$1,572,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,886,400		\$1,886,400

PROBABLE COST ESTIMATES

INTERMEDIATE MIDDLE

	Low Range	High Range
INTERMEDIATE MIDDLE COSTS	\$3,705,721	\$3,885,100
PROJECT COST (INCLUDING 20% SOFT COSTS)	\$4,446,865	\$4,662,120

PROBABLE COST ESTIMATES

HIGH SCHOOL

HIGH SCHOOL

		A - LOW RANGE		B -HIGH RANGE	
HS-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work) (Assume 10 ADA stalls)	\$114.3 / Stall	\$1,143	\$150 / Stall	\$1,500
	Repaint existing parking spaces and numbers (District typically self performs this work) (Assume 300 stalls)	\$13.25 / Stall	\$3,975	\$20 / Stall	\$6,000
	TOTAL PARKING MODIFICATIONS		\$5,118		\$7,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$6,142		\$9,000

		A - LOW RANGE		B -HIGH RANGE	
HS-2	Toilet Room Accessibility Upgrades				
	Group Toilet room upgrades (including partitions, grab bars and accessories) (Assume 12 group toilet rooms, which includes 6 male and 6 female rooms)	\$54,532 / 1 Male and 1 Female Group	\$327,192	\$69,625 / 1 Male and 1 Female Group	\$417,750
	Add pipe protection at exposed sinks				
	Add/ replace accessible stalls where not provided by code				
	Remove sinks, relocate dispensers, and add vertical grab bars for toilet stalls				
	Locker room reconfigurations (including partitions, grab bars, accessories) (Assume 4 locker rooms)	\$10,705 / Room	\$42,820	\$12,795 / Room	\$51,180
	Single Toilet Room ADA upgrades (Assume 17 single user toilet rooms)	\$261 / Room	\$4,437	\$300 / Room	\$5,100
	TOTAL TOILET ROOM MODIFICATIONS		\$374,449		\$474,030
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$449,339		\$568,836

		A - LOW RANGE		B -HIGH RANGE	
HS-3	Door and Hardware Upgrades				
	Replace door handle hardware (Assume 300 doors, we are assuming to replace all existing door hardware at this time. This number may change as project scope is further defined) Re-keying is included in this scope.	\$198 / EA	\$59,400	\$250 / EA	\$75,000
	TOTAL DOOR AND HARDWARE MODIFICATIONS		\$59,400		\$75,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$71,280		\$90,000

		A - LOW RANGE		B -HIGH RANGE	
HS-4	Signage Upgrades				
	Interior signage (Assume 300 signs are required)	\$118 / EA	\$35,400	\$130 / EA	\$39,000
	Provide exterior wayfinding signage at all secondary entrance doors directing visitors to Main Entrance. (Assume 50 doors)	\$118 / EA	\$5,900	\$130 / EA	\$6,500
	TOTAL SIGNAGE MODIFICATIONS		\$41,300		\$45,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$49,560		\$54,600

		A - LOW RANGE		B -HIGH RANGE	
HS-5	Casework Accessibility Upgrades				

PROBABLE COST ESTIMATES

HIGH SCHOOL

	Replace sink casework in Family Consumer Science classroom to provide required wheelchair approach (Only one kitchen station will need modified for ADA access but the entire casework could be upgraded) (Assume 100 LF of base cabinet, 75 LF of wall cabinet and 100 LF of counter top) Included in renovated costs below	allowance	\$35,000	allowance	\$40,000
	Replace casework in Science classrooms to provide required wheelchair approach (Only one work station will need modified for ADA access but the entire room casework could be upgraded) (Assume one work station is being modified for Wheelchair access in each room) Included in renovated costs below	allowance	\$15,000	allowance	\$20,000
	Replace casework in Art classrooms to provide required wheelchair approach (Only one sink base casework will need modified for ADA access) Included in renovated costs below	allowance	\$15,000	allowance	\$20,000

HS-6	Egress Path Corrections				
	Stair guardrail modifications. Modify or replace existing guardrails with code compliant design. (Assume 165 LF)	\$108 / LF	\$17,820	\$125 / LF	\$20,625
	Stair handrail addition to guard rails to meet code. (Assume 165 LF)	\$108 / LF	\$17,820	\$125 / LF	\$20,625
	TOTAL EGRESS PATH MODIFICATIONS		\$35,640		\$41,250
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$42,768		\$49,500

HS-7	Secure Entrance Modifications				

HS-8	Exterior Finish Improvements				
	Remove and replace any displaced or damaged brick	allowance	\$10,000	allowance	\$20,000
	Repoint mortar joints as necessary	allowance	\$10,000	allowance	\$10,000
	Clean and seal masonry surfaces (Assume 56,500 SF)	\$2 / SF	\$113,000	\$4 / SF	\$226,000
	Recalk joints (Assume 15,000 LF)	\$2 / LF	\$30,000	\$2.50 / LF	\$37,500
	TOTAL EXTERIOR FINISH MODIFICATIONS		\$163,000		\$293,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$195,600		\$352,200

HS-9	Exterior Doors/Windows				
	Replace all exterior windows for greater efficiency (Assume 150 windows)	\$2500 / EA	\$375,000	\$3000 / EA	\$450,000
	Clean and repaint chalking exterior doors and frames (Assume 29 doors) This scope is NOT included in cost below	\$100/door	\$2,900	\$150/door	\$4,350
	TOTAL EXTERIOR DOOR/WINDOW MODIFICATIONS		\$375,000		\$450,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$450,000		\$540,000

HS-10	Roofing Improvements				
	Inspect membrane, sealant, and flashings and curbs at rooftop equipment yearly and repair as necessary		no cost included		no cost included

PROBABLE COST ESTIMATES
HIGH SCHOOL

HS-11	Site Improvements				
	Add new light fixtures near drives and walkways (Assume 10 fixtures)	\$6,237 / EA	\$62,370	\$7,200 / EA	\$72,000
	Repair miscellaneous broken/ cracked concrete and concrete curbs (Assume 250 LF)	\$13 / LF	\$3,250	\$18 / LF	\$4,500
	Routine Maintenance and trimming of perimeter landscape	no cost included		no cost included	
	Courtyard Landscape and Hardscape				
	<i>Small Scale Landscaping (shrubs) (Assume 10 shrubs)</i>	\$92 / EA	\$920	\$100 / EA	\$1,000
	<i>Large Scale Landscaping (trees) (Assume 2 trees)</i>	\$340 / EA	\$680	\$375 / EA	\$750
	<i>Site Seating (benches) (Assume 5 benches)</i>	\$2,700 / EA	\$13,500	\$3,000 / EA	\$15,000
	<i>Gravel Hardscape (Assume 2,500 SF)</i>	\$2 / SF	\$5,000	\$5 / SF	\$12,500
	Repave surface lot (Assume 37,500 SF or approx. 4,167 SY)	\$45 / SY	\$187,515	\$65 / SY	\$270,855
	<i>Have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future.</i>				
	TOTAL SITE MODIFICATIONS		\$273,235		\$376,605
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$327,882		\$451,926

HS-12	Interior Floor Finish Improvements				
	Replace cracked VCT flooring in classroom (Assume 900 sf)	\$7.5 / SF	\$6,750	\$10 / SF	\$9,000
	Repair any damaged VCT flooring in corridors (Assume 200 sf)	\$7.5 / SF	\$1,500	\$10 / SF	\$2,000
	TOTAL INTERIOR FLOOR FINISH MODIFICATIONS		\$8,250		\$11,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$9,900		\$13,200

HS-13	Interior Wall Finish Improvements				
	Inspect and repair crack in boys locker room wall. Fill and paint as necessary. Monitor routinely.	no cost included		no cost included	
	Inspect and repaint CMU and GWB/Plaster walls as necessary	no cost included		no cost included	
	Inspect and repair/replace damaged finishes as necessary	no cost included		no cost included	
	New painting throughout could be considered to add colors and improved aesthetics	no cost included		no cost included	

HS-14	Interior Ceiling Finish Improvements				
	Replace ACT ceiling throughout building. This is typically done in conjunction with a full lighting replacement project. (Assume 119,480 SF)	\$9.8 / SF	\$1,170,904	\$15 / SF	\$1,792,200
	TOTAL INTERIOR CEILING FINISH MODIFICATIONS		\$1,170,904		\$1,792,200
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,405,085		\$2,150,640

PROBABLE COST ESTIMATES
HIGH SCHOOL

HS-15	Locker Improvements				
	Ensure lockers meet 5% accessibility requirement		no cost included		no cost included
HS-16	Hazardous Materials Concerns				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports		no cost included		no cost included
HS-17	General and Special Education Classroom Improvements				
	Replace existing casework in all classrooms (Assume 40 classrooms and 65 LF of area. Total 2,600 LF)	\$82 / LF	\$213,200	\$100 / LF	\$260,000
	Renovate nurse's suite to included a separate office and triage space (Assume 675 SF)	\$100 / SF	\$67,500	\$150 / SF	\$101,250
	TOTAL CLASSROOM MODIFICATIONS		\$280,700		\$361,250
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$336,840		\$433,500
HS-18	Science Classroom Improvements				
	Complete renovation of all science classrooms. To include casework, student workstations and furniture, finishes, lighting, and equipment. (There are 5 science classrooms at approx. 1,000 SF / room. Assume total area of work to be 5,000 SF)	\$100 / SF	\$500,000	\$150 / SF	\$750,000
	TOTAL IMPROVEMENTS		\$500,000		\$750,000
	PROJECT COSTS (INCLUDING 20% SOFT COSTS)		\$600,000		\$900,000
HS-19	Computer Classroom Improvements				
	Renovate one of the existing computer classrooms into a functional and updated E-Sports room. (Assume 675 SF)	\$100 / SF	\$67,500	\$150 / SF	\$101,250
	TOTAL CLASSROOM MODIFICATIONS		\$67,500		\$101,250
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$81,000		\$121,500
HS-20	Music/Band Room Improvements				
	Renovate existing band room, practice rooms, and dedicated storage spaces. Provide new storage and new layout that solves the district's visibility issue (Assume 2,500 SF)	\$100 / SF	\$250,000	\$150 / SF	\$375,000
	TOTAL IMPROVEMENTS		\$250,000		\$375,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$300,000		\$450,000
HS-21	Library				

PROBABLE COST ESTIMATES

HIGH SCHOOL

	Renovate existing library to reflect modern learning and study spaces. This renovation will include flexible student furniture and workstations, finishes, and appropriate technical equipment. (Assume renovation stays within current boundaries of existing library: 2,805 SF)				
		\$100 / SF	\$280,500	\$150 / SF	\$420,750
	TOTAL IMPROVEMENTS		\$280,500		\$420,750
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$336,600		\$504,900

HS-22	Gymnasiums				
	Auxiliary gym addition (Assume 5,500 SF)	\$350 / SF	\$1,925,000	\$400 / SF	\$2,200,000
	Full bleacher upgrade in Main Gym. Bleachers would have acrylic seats, handrails, wheelchair seating area and motorized operation. (Assume 200 seat capacity)	\$1,700 / EA	\$340,000	\$1,800 / EA	\$360,000
	Provide wall protection at all exposed walls (Assume 760 SF , 2'x 6', 2" D crash pads)	\$14.5 / SF	\$11,020	\$20 / SF	\$15,200
	TOTAL ATHLETICS IMPROVEMENTS		\$2,276,020		\$2,575,200
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$2,731,224		\$3,090,240

HS-23	Art Room				
	No cost included at this time				

HS-24	Cafeteria				
	Cafeteria must provide at least 5% accessible seating. Delineate appropriate number of table/ booths as ADA accessible and provide necessary spacing and approach requirements.	no cost included		no cost included	
	Total cafeteria renovations to include new finishes, lighting, student seating, and booths. (Assume 500 SF)	\$100 / SF	\$50,000	\$150 / SF	\$75,000
	TOTAL CAFETERIA MODIFCIATIONS		\$50,000		\$75,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$60,000		\$90,000

HS-25	Auditorium				
	Replace all house seating (Assume 750 seats)	\$150 / EA	\$112,500	\$350 / EA	\$262,500
	Replace auditorium (stage and house) sound system	allowance	\$100,000	allowance	\$150,000
	TOTAL AUDITORIUM MODIFCIATIONS		\$212,500		\$412,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$255,000		\$495,000

HS-26	Tech Ed Rooms				
	No cost included at this time				

HS-HVAC	HVAC Systems				
	Add variable frequency drives to the hot water pumps	unit cost	\$26,000	unit cost	\$26,000
	Replace the unit ventilators due to age or install another type of HVAC system with better efficiency	unit cost	\$1,057,000	unit cost	\$1,057,000

PROBABLE COST ESTIMATES

HIGH SCHOOL

	Replace the condensing units (should this be accomplished the associated unit ventilator would need replaced, as it would not be compatible for the refrigerant that a new condensing unit would use)	unit cost	\$100,000	unit cost	\$100,000
	Replace the pneumatic controls throughout the building with Direct Digital Controls (DDC) as are installed at the head end.	unit cost	\$1,100,000	unit cost	\$1,100,000
	Replace the outdated roof exhaust fans	unit cost	\$250,000	unit cost	\$250,000
	Revise the make-up air for the toilet rooms so that it is not coming from the corridor	unit cost	\$124,000	unit cost	\$124,000
	Replace B&G flow meters	unit cost	\$32,000	unit cost	\$32,000
	Replace air handlers	unit cost	\$300,000	unit cost	\$300,000
	TOTAL HVAC IMPROVEMENTS		\$2,989,000		\$2,989,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$3,586,800		\$3,586,800

HS-P	Plumbing Systems				
	Install additional isolation valves in the hot and cold water systems	unit cost	\$202,000	unit cost	\$202,000
	Review in detail the issues with the sanitary system and what is causing clogs and backups, and repair or replace that is needed to correct that.	unit cost	\$808,000	unit cost	\$808,000
	Repair or replace the storm water piping where leaks have developed	unit cost	\$646,000	unit cost	\$646,000
	Install trap seal guards in floor drains	unit cost	\$126,000	unit cost	\$126,000
	TOTAL PLUMBING IMPROVEMENTS		\$1,782,000		\$1,782,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$2,138,400		\$2,138,400

HS-E	Electrical, Lighting & Data Systems				
	Replace existing switchboard	unit cost	\$555,000	unit cost	\$555,000
	Replace the panelboards throughout the building	unit cost	\$651,000	unit cost	\$651,000
	Add a second transfer switch to meet code	unit cost	\$19,000	unit cost	\$19,000
	Add fire alarm strobes in restrooms and classrooms to meet code. This might require replacement of the main fire alarm panel.	unit cost	\$544,000	unit cost	\$544,000
	Replace existing lighting throughout the building with LED lighting, low voltage controls, and occupancy sensors	unit cost	\$1,600,000	unit cost	\$1,600,000
	Add ground fault circuit interrupter receptacles where required by code	unit cost	\$37,000	unit cost	\$37,000
	TOTAL ELECTRICAL IMPROVEMENTS		\$3,406,000		\$3,406,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$4,087,200		\$4,087,200

		Low Range	High Range
HIGH SCHOOL COSTS		\$14,665,516	\$16,894,535
PROJECT COST (INCLUDING 20% SOFT COSTS)		\$17,598,619	\$20,273,442

PROBABLE COST ESTIMATES
STADIUM COMPLEX

STADIUM COMPLEX

		A - LOW RANGE		B -HIGH RANGE	
S-1	Accessible Parking and Accessible Route Changes				
	Paint ADA travel path and mark ADA accessible spots in correct locations. (District typically self performs this work) (Assume 3 ADA stalls)	\$114.3 / Stall	\$3,429	\$150 / Stall	\$4,500
	TOTAL PARKING MODIFICATIONS		\$3,429		\$4,500
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$4,115		\$5,400
S-2	Toilet Room Accessibility Upgrades				
	Group Toilet room upgrades (including grab bars and accessories) (Assume 2 group toilet rooms, which includes 1 male and 1 female rooms)	\$500 / Room	\$1,000	\$800 / Room	\$1,600
	<i>Add pipe protection at exposed sinks</i>				
	<i>Check existing mounting heights and remount if necessary</i>				
	<i>Add vertical grab bars for toilet stalls</i>				
	TOTAL TOILET ROOM MODIFICATIONS		\$1,000		\$1,600
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,200		\$1,920
S-3	Toilet Room Accessibility Upgrades				
	No work recommended				
S-4	Signage Upgrades				
	Relocate or provide signage at all doors and exits (Assume 10 signs are required)	\$118 / EA	\$1,180	\$130 / EA	\$1,300
	TOTAL SIGNAGE MODIFICATIONS		\$1,180		\$1,300
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$1,416		\$1,560
S-5	Exterior Finish Improvements				
	Repoint mortar joints as necessary	allowance	\$10,000	allowance	\$10,000
	Clean and seal masonry surfaces as necessary (Assume 4,500 SF)	\$2 / SF	\$9,000	\$4 / SF	\$18,000
	Recalk joints as necessary (Assume 2,500 LF)	\$2 / LF	\$5,000	\$2.50 / LF	\$6,250
	TOTAL EXTERIOR FINISH MODIFICATIONS		\$24,000		\$34,250
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$28,800		\$41,100
S-6	Site Improvements				
	Retrofit grandstand with addition of center aisle hand rails (Assume 40 rails)	\$200 / EA	\$8,000.00	\$300 / EA	\$12,000.00
	Repair miscellaneous broken/ cracked concrete and concrete curbs (Assume 175 LF)	\$13 / LF	\$2,275	\$18 / LF	\$3,150
	Repave surface lots (Assume 18408 SF or approx. 2045 SY)	\$45 / SY	\$92,025	\$65 / SY	\$132,925

PROBABLE COST ESTIMATES

STADIUM COMPLEX

	Have geotechnical evaluation to determine the condition of the paving depth and sub-base. The geotechnical evaluation will determine if an overlay, milling and overlay or full depth replacement is needed. Plan for a paving project in the near future.				
	TOTAL SITE MODIFICATIONS		\$102,300		\$148,075
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$122,760		\$177,690
S-7	Interior Finish Improvements				
	Inspect and repaint CMU and GWB/Plaster walls as necessary (District typically self performs this work)		no cost included		no cost included
	Add storage to band concession as necessary (District typically self performs this work)		no cost included		no cost included
S-8	Hazardous Materials Concerns				
	Abatement of any hazardous materials will be addressed if any renovations impact the items addressed in the AHERA reports		no cost included		no cost included
S-9	Kitchen/ Concessions				
	<i>Scope will be determined after further discussions with the District</i>		no cost included at this time		no cost included at this time
S- HVAC	HVAC Systems				
	Add hood exhaust over cooking appliances at the band concession building.	unit cost	\$25,000	unit cost	\$25,000
	TOTAL HVAC IMPROVEMENTS		\$25,000		\$25,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$30,000		\$30,000
S-P	Plumbing Systems				
	Add a domestic hot water system for hand washing if not present at the toilet room building	unit cost	\$40,000	unit cost	\$40,000
	TOTAL PLUMBING IMPROVEMENTS		\$40,000		\$40,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$48,000		\$48,000
S-E	Electrical, Lighting & Data Systems				
	Replace main electrical panel in the toilet room building	Unit cost	\$15,000	unit cost	\$15,000
	Replace the existing light fixtures in the toilet room building with LED fixtures	Unit cost	\$7,000	unit cost	\$7,000
	Add GFCI receptacles to damp locations at the ticketing and concession building	Unit cost	\$5,000	unit cost	\$5,000
	TOTAL ELECTRICAL IMPROVEMENTS		\$27,000		\$27,000
	PROJECT COST (INCLUDING 20% SOFT COSTS)		\$32,400		\$32,400

PROBABLE COST ESTIMATES

STADIUM COMPLEX

		Low Range		High Range
STADIUM COSTS		\$223,909		\$281,725
PROJECT COST (INCLUDING 20% SOFT COSTS)		\$268,691		\$338,070

YOUGH SCHOOL DISTRICT OPTIONS/COST SUMMARY ANALYSIS

To help make sense of the identified issues at the District's existing facilities, the various issues have been sorted into categories and assigned priority levels. Associated construction cost estimates have been assigned to the miscellaneous corrective measures and recommended improvements.

Costing is based on our collective experience, our understanding of the issues, and our current thinking around potential solutions. Costs have been developed using 'rule of thumb' calculations based on costs per square foot, unit, and/or 'best guess' lump sum allowances. The costs shown should be viewed as 'order of magnitude' costs for to inform discussions and guide future planning. Soft costs, project related costs in addition to construction costs, are included in the costing summaries. Soft costs vary significantly depending on the scope and size of the project, they can typically range from 15% to 25%. For this evaluation we are using 20% for the soft costs.

The recommended priority levels shown reflect our professional opinion of relative importance, they are meant to help the district develop an actionable long-range capital improvement plan.

OPTIONS/COST SUMMARY ANALYSIS

Contents

F3 – F7	Issues Categories
F8 – F8	Priority Recommendations and Cost Summary
F-9	Conceptual Cost Range Summary – Level 1
F-10	Conceptual Cost Range Summary – Level 2
F-11	Conceptual Cost Range Summary – Level 3

YOUGH SCHOOL DISTRICT

ISSUES AND RECOMMENDATIONS

Infrastructure Issues identified in the existing facilities assessment have been sorted into the following categories...

Issues Categories:



WARM, SAFE, & DRY

Issues that are fundamental to student welfare and safe operation of the facilities



FUNCTIONAL DEFICIENCIES

Issues that are not currently meeting the District's educational or functional standards



UPGRADES & MODERIZATION

Issues that relate to routine lifecycle improvements and ongoing facility maintenance



WARM, SAFE, & DRY SUMMARY

District Wide

- Replacement and/or Repair of Asphalt and Concrete
- LED Lighting Upgrades (Interior & Exterior)
- Replacement and/or Repair of Roofing Systems
- Selective Masonry Repairs
- Replacement and/or Repair of HVAC Equipment
- Replacement and/or Repair of Plumbing Systems
- Replacement and/or Repair of Electrical Systems
- Update Fire Alarm System
- Renovation at Health Suites for ADA compliance
- HVAC Equipment Replacements
- Window System Upgrades
- Address Water Infiltration Issues
- Site Accessibility Improvements
- Building Accessibility Improvements
- Replace Door Sidelites for Safety Glass

HW Good

- Site accessibility Improvements
- Building Accessibility Improvements
- Automatic Temperature Control Upgrades
- Security Camera Upgrades
- Window System Upgrades
- Replacement and/or Repair of Roofing Systems
- Replacement and/or Repair of HVAC Equipment
- Replacement and/or Repair of Plumbing Systems
- Replacement and/or Repair of Electrical Systems
- Address Water Infiltration Issues
- Replacement and/or Repair of Asphalt and Concrete

Mendon

- Site Accessibility Improvements
- Building Accessibility Improvements
- Address Water Infiltration Issues
- Slab Heave/Settling Resolution
- Replacement and/or Repair of Asphalt and Concrete
- Window System Upgrades
- Replacement and/or Repair of Roofing Systems
- Replacement and/or Repair of HVAC Equipment
- Replacement and/or Repair of Plumbing Systems
- Replacement and/or Repair of Electrical Systems

West Newton

- Site accessibility Improvements
- Building Accessibility Improvements
- Address Water Infiltration Issues
- Replacement and/or Repair of Asphalt and Concrete
- Elementary Playground Upgrades
- Replacement and/or Repair of Roofing Systems
- Replacement and/or Repair of HVAC Equipment
- Replacement and/or Repair of Plumbing Systems
- Replacement and/or Repair of Electrical Systems



WARM, SAFE, & DRY SUMMARY *continued*

District Wide

- Replacement and/or Repair of Asphalt and Concrete
- LED Lighting Upgrades (Interior & Exterior)
- Replacement and/or Repair of Roofing Systems
- Selective Masonry Repairs
- Replacement and/or Repair of HVAC Equipment
- Replacement and/or Repair of Plumbing Systems
- Replacement and/or Repair of Electrical Systems
- Update Fire Alarm System
- Renovation at Health Suites for ADA compliance
- HVAC Equipment Replacements
- Window System Upgrades
- Address Water Infiltration Issues
- Site Accessibility Improvements
- Building Accessibility Improvements
- Replace Door Sidelites for Safety Glass

Intermediate Middle

- Site Accessibility Improvements
- Building Accessibility Improvements
- Replacement and/or Repair of Roofing Systems
- Replacement and/or Repair of Asphalt and Concrete
- Address Water Infiltration Issues
- Slab Heave/Settling Resolution
- Replace Boilers
- Update Fire Alarm System
- Replace Packaged Roof Top Units
- LED Lighting Upgrades (Interior & Exterior)

Yough Senior High

- Site Accessibility Improvements
- Building Accessibility Improvements
- Replacement and/or Repair of Asphalt and Concrete
- Address Water Infiltration Issues
- Replace Stair Guardrails for ADA Compliance
- Renovate Main Entrance for a Secure Vestibule
- Window System Upgrades
- LED Lighting Upgrades (Interior & Exterior)
- Replacement and/or Repair of Roofing Systems
- Replacement and/or Repair of HVAC Equipment
- Replacement and/or Repair of Plumbing Systems
- Replacement and/or Repair of Electrical Systems
- Update Fire Alarm System
- Investigate and Repair Floor Cracking

Stadium

FUNCTIONAL DEFICIENCIES SUMMARY

District Wide <ul style="list-style-type: none"> Improved Site Utilization at Elementary Schools Teacher & Student Desk Upgrades Replace Paging and Audio Systems Replace Clock Systems Under- Utilized Courtyards and Gardens 	HW Good <ul style="list-style-type: none"> Increased Parking Capacity Designated Teacher and Student Storage (cubbies or lockers) Improved Site Utilization and Circulation Redesign
	Mendon <ul style="list-style-type: none"> Designated Teacher and Student Storage (cubbies or lockers)
	West Newton <ul style="list-style-type: none"> Playground Replacement Designated Teacher and Student Storage (cubbies or lockers)
	Intermediate Middle
	Yough Senior High <ul style="list-style-type: none"> Locker Upgrades & Additions Secure Vestibule Renovations Administration Suite Renovations
	Stadium

UPGRADES AND MODERNIZATIONS SUMMARY

District Wide <ul style="list-style-type: none"> • Upgrade to LED Lighting Fixtures, Interior and Exterior • Interior Finish Upgrades Including Flooring, Paint, and Ceiling Tiles • Replacement and/or Repair of Casework • Renovations to Support 21st Century Learning • Replacement of Exterior Doors and Windows • Selective Kitchen Equipment Upgrades • Administration/Reception Suites FFE Upgrades • Restroom aesthetics Upgrades • Acoustic Treatments in Elementary Schools 	HW Good <ul style="list-style-type: none"> • Site Signage Upgrades • Corridor Wall and Floor Repairs • Replacement and/or Repair of Casework
	Mendon <ul style="list-style-type: none"> • Site Signage Upgrades • Replacement and/or Repair of Casework • Canopy FFE Upgrades
	West Newton <ul style="list-style-type: none"> • Site Signage Upgrades • Replacement and/or Repair of Casework
	Intermediate Middle
	Yough Senior High <ul style="list-style-type: none"> • Site Signage Upgrades • Main Gymnasium Bleacher Replacement • Corridor Wall and Floor Repairs
	Stadium

YOUGH SCHOOL DISTRICT ISSUES AND RECOMMENDATIONS

Infrastructure Issues identified in the existing facilities assessment have been sorted into the following recommended priority levels...

Priority Recommendations:

	<i>Recommended Timeframe for Improvements</i>	<i>General Descriptions of 'Levels'</i>
<u>Level 1</u>	0 to 3 Years	<ul style="list-style-type: none"> • Already broken • Currently reaching or exceeding 'end of useful life' • Life safety concerns • Prevention of further deterioration • ADA/code violations
<u>Level 2</u>	3 to 5 Years	<ul style="list-style-type: none"> • Nearing 'end of useful life' (3-5 years) • Significant energy efficiency • Safety enhancements • ADA/code improvements • Functional deficiencies • Routine & preventative maintenance
<u>Level 3</u>	5 to 10 Years	<ul style="list-style-type: none"> • Nearing 'end of useful life' (5-10 years) • Energy efficiency • Functional improvements • Modernization • Routine & preventative maintenance
<u>Level 4</u>	10 Years +	<ul style="list-style-type: none"> • Future considerations/goals • Comprehensive renovations • Ongoing maintenance

Conceptual Cost Range Summary – Level 1

ALL FACILITIES – LEVEL 1 (Projected years 2024 - 2027)			
	HW Good	Mendon	West Newton
Project Cost High Range	\$500,000	\$724,140	\$312,980
	Primarily work associated with site paving, exterior envelope and fire alarm panel	Primarily work associated with site paving, exterior envelope and fire alarm panel	Primarily work associated with site paving, exterior envelope and fire alarm panel
	Intermediate Middle	High School	
Project Cost High Range	\$504,660	\$21,985,242	
	Primarily work associated with site paving, exterior envelope and fire alarm panel	Comprehensive renovation project to address MEP systems, building infrastructure and educational programs. Includes aux gym addition	
	Stadium		
Project Cost High Range	\$338,070		
	This work is included in level 1 due to the project at the High School. It can be moved to Level 2 as well.		

Level 1 (0 to 3 years) Construction Cost Summary Range:

NOTE: Costs provided are Project Costs which include soft costs which are estimated at 20% of the Construction Cost

Conceptual Cost Range Summary – Level 2

ALL FACILITIES – LEVEL 2 (Projected years 2028 - 2033)			
	HW Good	Mendon	West Newton
Project Cost High Range	\$13,129,628	\$5,874,618	\$7,491,936
	Comprehensive renovation project to address MEP systems, building infrastructure and educational programs, Includes building additions for classrooms and gym	Comprehensive renovation project to address MEP systems, building infrastructure and educational programs	Comprehensive renovation project to address MEP systems, building infrastructure and educational programs
	Intermediate Middle	High School	
Project Cost High Range	\$11,820	\$582,450	
	Ongoing maintenance and interior finish upgrades	Ongoing maintenance, interior finishes and site landscaping	
	Stadium		
Project Cost High Range	Maintenance Budget Allowance		
	Ongoing maintenance		

Level 2 (3 to 5 years) Construction Cost Summary Range:

NOTE: Costs provided are Project Costs which include soft costs which are estimated at 20% of the Construction Cost

Conceptual Cost Range Summary – Level 3

ALL FACILITIES – LEVEL 3 (Projected years 2034 - 2044)			
	HW Good	Mendon	West Newton
Project Cost High Range	Maintenance Allowance	Maintenance Allowance	Maintenance Allowance
	Ongoing Maintenance	Ongoing Maintenance	Ongoing Maintenance
	Intermediate Middle	High School	
Project Cost High Range	\$4,170,480	Maintenance Allowance	
	Comprehensive MEP infrastructure upgrades and miscellaneous work not addressed in previous years.	Ongoing maintenance, interior finishes and site landscaping	
	Stadium		
Project Cost High Range	Maintenance Allowance		
	Ongoing maintenance		

Level 3 (5 to 10 years) Construction Cost Summary Range:

NOTE: Costs provided are Project Costs which include soft costs which are estimated at 20% of the Construction Cost